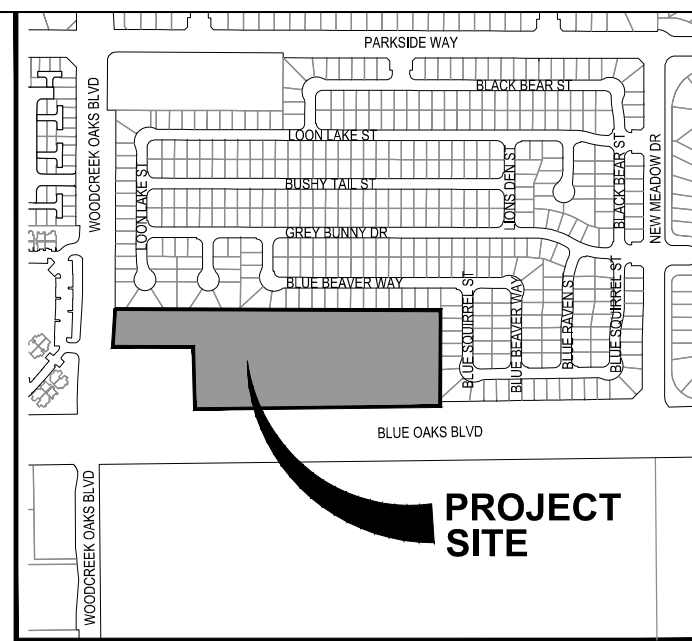
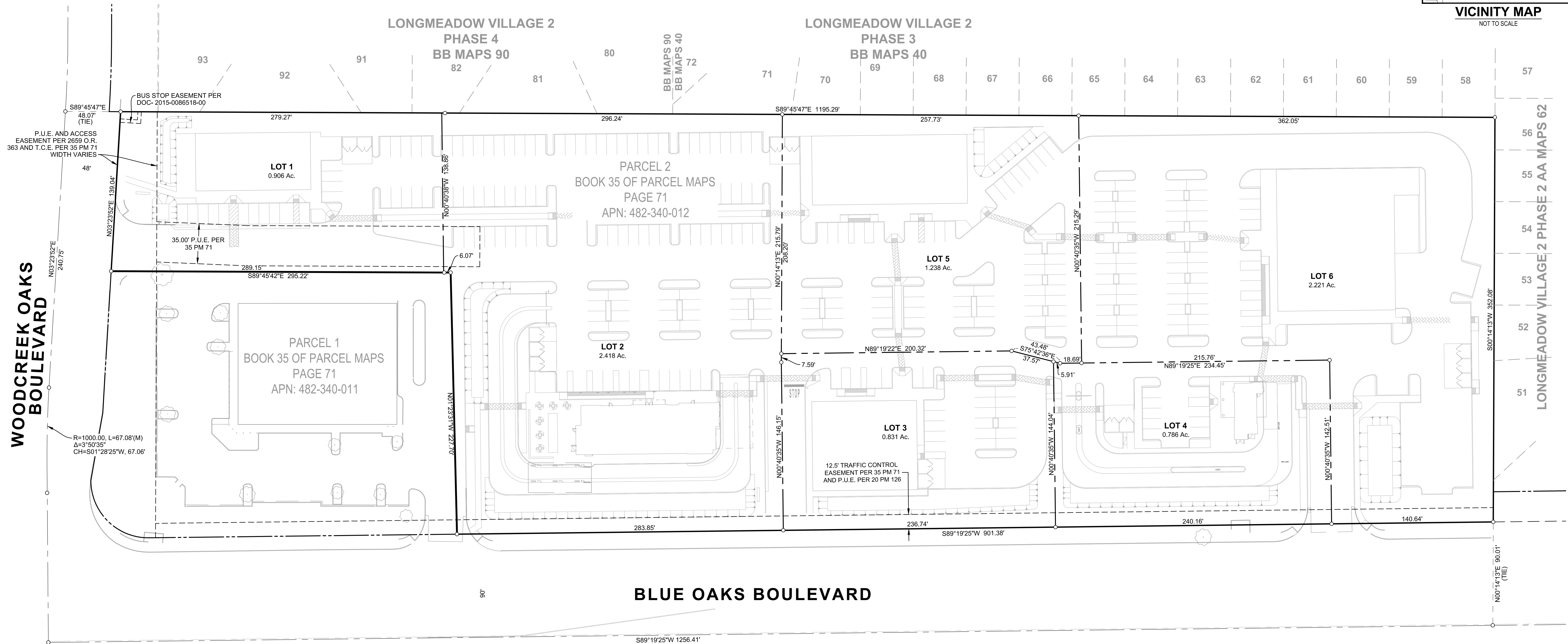


TENTATIVE SUBDIVISION MAP
FOR
BLUE OAKS RETAIL CENTER PHASE 2
 CITY OF ROSEVILLE PLACER COUNTY CALIFORNIA
CUNNINGHAM ENGINEERING
 FEBRUARY 2023



VICINITY MAP
NOT TO SCALE



OWNER
 ROSEVILLE BLUE OAKS PARTNERS, LLC
 A DELAWARE LIMITED LIABILITY COMPANY
 30 EAST 23rd STREET, 10th FLOOR
 NEW YORK, NY 10010
 (917) 688-4020

APN
 482-340-012

ZONING
 COMMUNITY COMMERCIAL / SPECIAL AREA (CC/SA)

CIVIL ENGINEER
 CUNNINGHAM ENGINEERING
 2120 20th STREET, SUITE 3
 SACRAMENTO, CALIFORNIA 95818
 (916) 455-2026

AREA
 8.40± Ac
 6 LOTS

SPECIFIC PLAN:
 NORTH INDUSTRIAL
 SPECIFIC PLAN AREA

ARCHITECT
 BORGES ARCHITECTURAL GROUP
 1478 STONE POINT DRIVE, SUITE 350
 ROSEVILLE, CALIFORNIA 95661
 (916) 782-7200

LAND USE
 COMMUNITY COMMERCIAL (CC)

BASIS OF BEARINGS
 THE CENTERLINE OF BLUE OAKS BOULEVARD PER BOOK AA PAGE 28

BENCHMARK
 CITY OF ROSEVILLE BM96, 3-1/4" BRASS DISC STAMPED "SEPTEMBER 2000 LS5978" AT THE TOP OF CURB 1 FOOT SOUTH OF D.I. AT THE SW CORNER OF THE INTX. OF BLUE OAKS BLVD. & WOODCREEK OAKS BLVD. EL=114.97' (NAVD88)

FLOOD ZONE
 ZONE X: PER MAP NO. 06061C0937H DATED NOVEMBER 2, 2018.

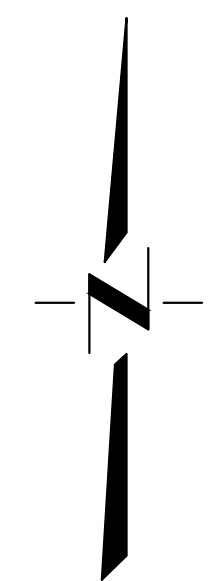
- NOTES:**
- THIS MAP WAS PREPARED UNDER THE DIRECTION OF CHARLES W. CUNNINGHAM, RCE 30339.
 - ALL INFORMATION ON THIS MAP IS DEEMED TO BE OF A PRELIMINARY NATURE, AND IS NOT TO BE RELIED ON FOR SURVEY OR PROPERTY LINE INFORMATION.
 - THE EXISTING BOUNDARY AND TOPOGRAPHY INFORMATION IS BASED ON A FIELD SURVEY PERFORMED MORROW SURVEYING, DATED FEBRUARY 2022.
 - THIS SUBDIVISION IS A SUBDIVISION OF PARCEL 2 AS SHOWN ON THE PARCEL MAP OF "BLUE OAKS RETAIL CENTER", FILED OCTOBER 10, 2014 IN BOOK 35 OF PARCEL MAPS PAGE 71, PLACER COUNTY RECORDS.
 - THE PROPOSED SITE IMPROVEMENTS ARE BASED ON A SITE PLAN PREPARED BY KIMLEY-HORN DATED JUNE 2022.
 - THE SUM OF THE PARTS OF A LINE OR CURVE MAY NOT EQUAL THE WHOLE LENGTH DUE TO ROUNDING OF DISTANCES.
 - OWNER SHALL PREPARE AND RECORD PRIVATE RECIPROCAL EASEMENTS BETWEEN LOTS FOR ACCESS, DRAINAGE AND UTILITIES PRIOR TO THE SALE OR OWNERSHIP TRANSFER OF ANY LOT.
 - OWNER RESERVES THE RIGHT TO FILE FINAL MAPS IN PHASES.

LEGEND

	SUBDIVISION BOUNDARY
	NEW LOT LINE
	EXISTING EASEMENT
	PROPOSED SITE IMPROVEMENTS
	PROPOSED BUILDING WALL
	ADJACENT PROPERTY LINE
	EXISTING STREET CENTERLINE

DISTRICTS

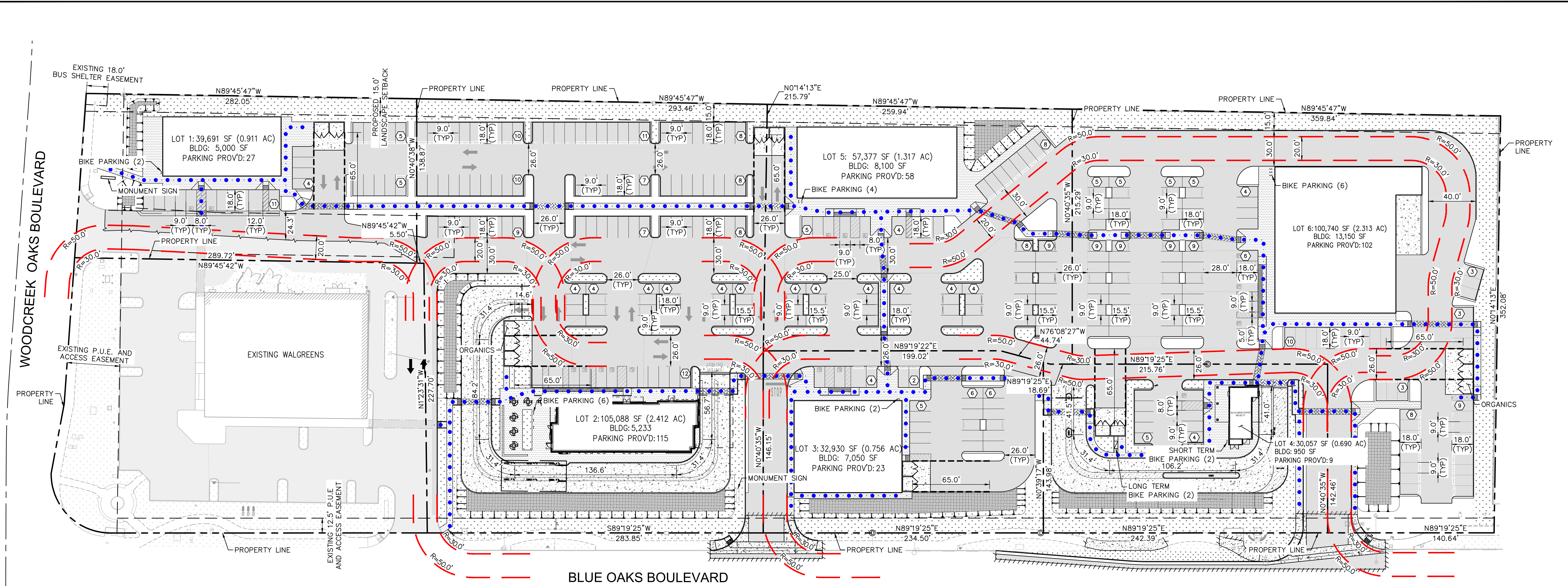
SEWER	CITY OF ROSEVILLE
WATER	CITY OF ROSEVILLE
STORM DRAIN	CITY OF ROSEVILLE
ELECTRIC	CITY OF ROSEVILLE
GAS	PG&E
SCHOOL DISTRICT	ROSEVILLE CITY SCHOOL DISTRICT
FIRE DISTRICT	CITY OF ROSEVILLE FIRE DISTRICT
PARK DISTRICT	CITY OF ROSEVILLE



SHEET 1 OF 1



K:\BAY_LDEVA\check-fr-a-097672126 - cto #5032 - blue oaks & woodcreek oaks (casavillo)\CAD Exhibits\entitlements\C10_PRELIMINARY SITE PLAN.dwg



LEGEND

	PROPERTY LINE		PROPOSED ASPHALT CONCRETE		PROPOSED LANDSCAPE AREA
	APPROXIMATE CIVIL LIMIT OF WORK		PROPOSED CONCRETE SIDEWALK		PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER
	EASEMENT OR SETBACK LINE		PROPOSED HEAVY DUTY CONCRETE		PROPOSED RIPRAP
	SETBACK LINE		STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL		
	SAWCUT LINE				
	ACCESSIBLE ADA PATH OF TRAVEL (FOR REFERENCE ONLY, DO NOT PAINT)				
	TRASH ENCLOSURE APPROACH (FOR REFERENCE ONLY, DO NOT PAINT)				
	ROW PARKING COUNT				

ABBREVIATIONS

BLDG	- BUILDING	INV	- INVERT
C/L	- CENTERLINE	LP	- LOW POINT
CO	- CLEANOUT	MH	- MANHOLE
CONC.	- CONCRETE	N	- NORTH
DI	- DRAIN INLET	P/L	- PROPERTY LINE
E	- ELECTRIC OR EAST	R	- RIDGE OR RADIUS
ESMT	- EASEMENT	R/W	- RIGHT-OF-WAY
FF	- FINISHED FLOOR	S	- SOUTH
FG	- FINISHED GRADE	SD	- STORM DRAIN
FL	- FLOW LINE	SS	- SANITARY SEWER
FS	- FINISHED SURFACE	TC	- TOP OF CURB
FW	- FIRE WATER	VIF	- VERIFY IN FIELD
GB	- GRADE BREAK	W	- WATER OR WEST
HP	- HIGH POINT		

GENERAL NOTES

- RETAIL CENTER WILL PROVIDE RECIPROCAL EASEMENTS BETWEEN THE LOTS FOR ACCESS, DRAINAGE, AND UTILITIES.
- RETAIL CENTER WILL PROVIDE A SHARED PARKING AGREEMENT IN WHICH ONE TENANT CANNOT GET EXCLUSIVE PARKS ON ITS PARCEL.
- PAVING MATERIAL OF THE WALKWAYS THROUGHOUT THE CENTER WILL BE CONSISTENT WITH THE ARCHITECTURAL TYPE OF THE CENTER. CENTER WILL PROVIDE STAMPED AND/OR COLORED CONCRETE OR PAVERS AS A DECORATIVE ACCENT THROUGHOUT THE CENTER TO PROVIDE A PATH OF TRAVEL FOR PEDESTRIANS.

GENERAL PARKING REQUIREMENTS

LOT	BUILDING AREA (SF)	REQUIRED PARKING STALLS*	TOTAL PROVIDED PARKING STALLS	PROVIDED COMPACT PARKING STALLS (30% MAX ALLOWED)	REQUIRED SHORT TERM BICYCLE PARKING	PROVIDED SHORT TERM BICYCLE PARKING
LOT 1	5,000	25	25	0	2	2
LOT 2	5,233	53**	114	12 (11%)	6	6
LOT 3	7,050	36	23	2 (9%)	2	2
LOT 4	950	10**	9	0	1	2
LOT 5	8,100	41	58	14 (24%)	3	4
LOT 6	13,150	66	102	20 (20%)	6	6
TOTAL	-	231	331	58 (17%)	20	22

*DESIGNED AND PLANNED AT ONE (1) PARKING SPACE PER 200 SF OF FLOOR AREA PER CHAPTER 19.26, SECTION 19.26.030 OF CITY OF ROSEVILLE MUNICIPAL CODE. EACH TENANT LOT SHALL UTILIZE THE PARKING REQUIREMENT FOR THEIR PROPOSED LAND USE AS EACH TENANT LOT IS LEASED PER CHAPTER 19.26, SECTION 19.26.030 OF CITY OF ROSEVILLE MUNICIPAL CODE.

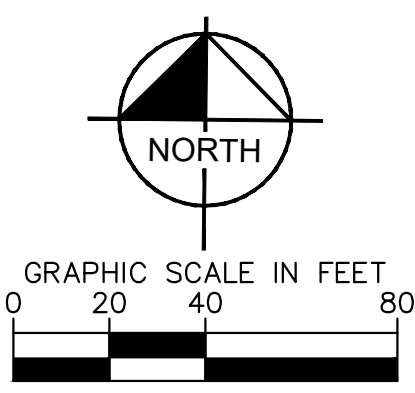
**DESIGNED AND PLANNED AT ONE (1) PARKING SPACE PER 100 SF OF FLOOR AREA FOR DRIVE-THRU.

***THE RETAIL CENTER WILL HAVE A SHARED PARKING AGREEMENT IN WHICH ONE TENANT CANNOT GET EXCLUSIVE PARKS ON ITS PARCEL. PARCELS 3 AND 4 ARE UNDERPAKED INDIVIDUALLY, HOWEVER, AS A WHOLE, THE RETAIL CENTER SURPASSES CITY PARKING REQUIREMENT.

GENERAL PARKING REQUIREMENTS

LOT	PROVIDED PARKING STALLS	ADA REQUIRED	ADA PROVIDED	EV CAPABLE REQUIRED*	EV CAPABLE PROVIDED	EVCS REQUIRED*	EVCS PROVIDED
LOT 1	27	2 TOTAL (1 VAN, 1 STD)	2 TOTAL (1 VAN, 1 STD)	8	8	2 (1 VAN)	2 (1 VAN, 1 STD)
LOT 2	115	5 TOTAL (1 VAN, 4 STD)	5 TOTAL (1 VAN, 4 STD)	25	25	6 (1 VAN, 1 STD)	6 (1 VAN, 1 STD)
LOT 3	23	1 TOTAL (1 VAN)	2 TOTAL (1 VAN, 1 STD)	4	4	0	0
LOT 4	9	1 TOTAL (1 VAN)	1 TOTAL (1 VAN)	0	0	0	0
LOT 5	58	3 TOTAL (1 VAN, 2 STD)	3 TOTAL (1 VAN, 2 STD)	13	13	3 (1 VAN)	3 (1 VAN, 1 STD)
LOT 6	102	5 TOTAL (1 VAN, 4 STD)	5 TOTAL (2 VAN, 3 STD)	25	26	6 (1 VAN, 1 STD)	6 (1 VAN, 1 STD)
TOTAL	334	17 TOTAL	18 TOTAL	75 TOTAL	76 TOTAL	17 TOTAL	17 TOTAL

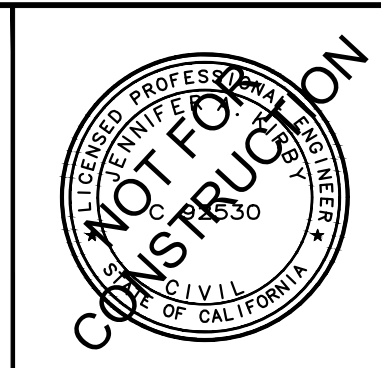
*THE REQUIRED NUMBER OF EV CAPABLE STALLS AND EVCS WITH EVSE STALLS ARE CALCULATED PER 2022 CALGREEN BUILDING CODE



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KHA PROJECT	097672126
DATE	02/17/2023
SCALE	AS SHOWN
DESIGNED BY	SAL
DRAWN BY	OKC
CHECKED BY	JAK

BLUE OAKS SHOPPING CENTER
 1480 BLUE OAKS BOULEVARD
 ROSEVILLE, CA 95747



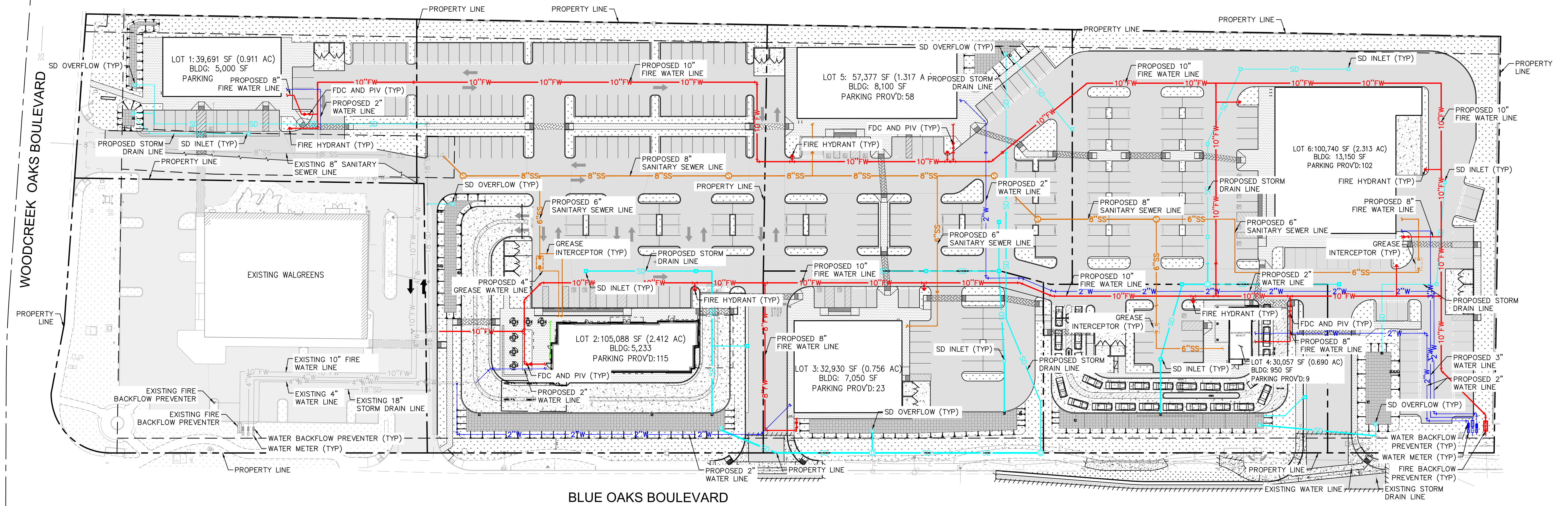
PRELIMINARY SITE PLAN

SHEET NUMBER

C1.0

No.	REVISIONS	DATE	BY

K:\BAY_LDEV\chick-fr-a\097672126 - cto #2032 - Blue Oaks & Woodcreek Oaks (casavillo)\CAD Exhibits\entitlements\C2.0 PRELIMINARY UTILITY PLAN.dwg
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LEGEND

	PROPERTY LINE		PROPOSED ASPHALT CONCRETE
	APPROXIMATE CIVIL LIMIT OF WORK		PROPOSED CONCRETE SIDEWALK
	EASEMENT OR SETBACK LINE		PROPOSED HEAVY DUTY CONCRETE
	EXISTING WATER LINE		STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL
	EXISTING SANITARY SEWER LINE		PROPOSED LANDSCAPE AREA
	EXISTING STORM DRAIN LINE		PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER
	PROPOSED 2" DOMESTIC WATER LINE		PROPOSED RIPRAP
	PROPOSED 3" DOMESTIC WATER LINE		
	PROPOSED 6" SANITARY SEWER LINE		
	PROPOSED 8" SANITARY SEWER LINE		
	PROPOSED 6" FIRE WATER LINE		
	PROPOSED 10" FIRE WATER LINE		
	PROPOSED STORM DRAIN LINE		
	PROPOSED SANITARY SEWER CLEANOUT		
	PROPOSED STORM DRAIN INLET		
	PROPOSED STORM DRAIN MANHOLE		
	PROPOSED SANITARY SEWER MANHOLE		

UTILITY NOTES

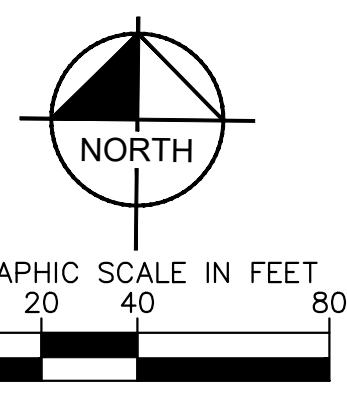
- ALL UTILITY PIPE LENGTHS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. PIPE LENGTHS ARE NOT SHOWN FOR BIDDING OR ESTIMATING PURPOSES.
- ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN ON THESE PLANS AS THEY ARE BELIEVED TO EXIST BASED ON AVAILABLE RECORDS BY OTHERS. THE OWNER AND ENGINEER DO NOT ACCEPT RESPONSIBILITY FOR THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, LOCATION, DEPTH, AND DIMENSION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT, POT-HOLING, AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AT ALL PROPOSED UTILITY CROSSINGS, AREAS OF EXCAVATION, AND WHERE CONSTRUCTION MAY BE AFFECTED BY THE LOCATION OR DEPTH OF THE UTILITY. DISCREPANCIES OR POTENTIAL CONFLICTS WITH PROPOSED IMPROVEMENTS MUST BE REPORTED TO AND RESOLVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

ABBREVIATIONS

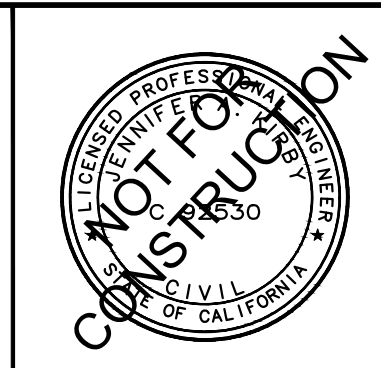
BLDG	- BUILDING	HP	- HIGH POINT
C/L	- CENTERLINE	INV	- INVERT
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BLUE OAKS SHOPPING CENTER
 1480 BLUE OAKS BOULEVARD
 ROSEVILLE, CA 95747



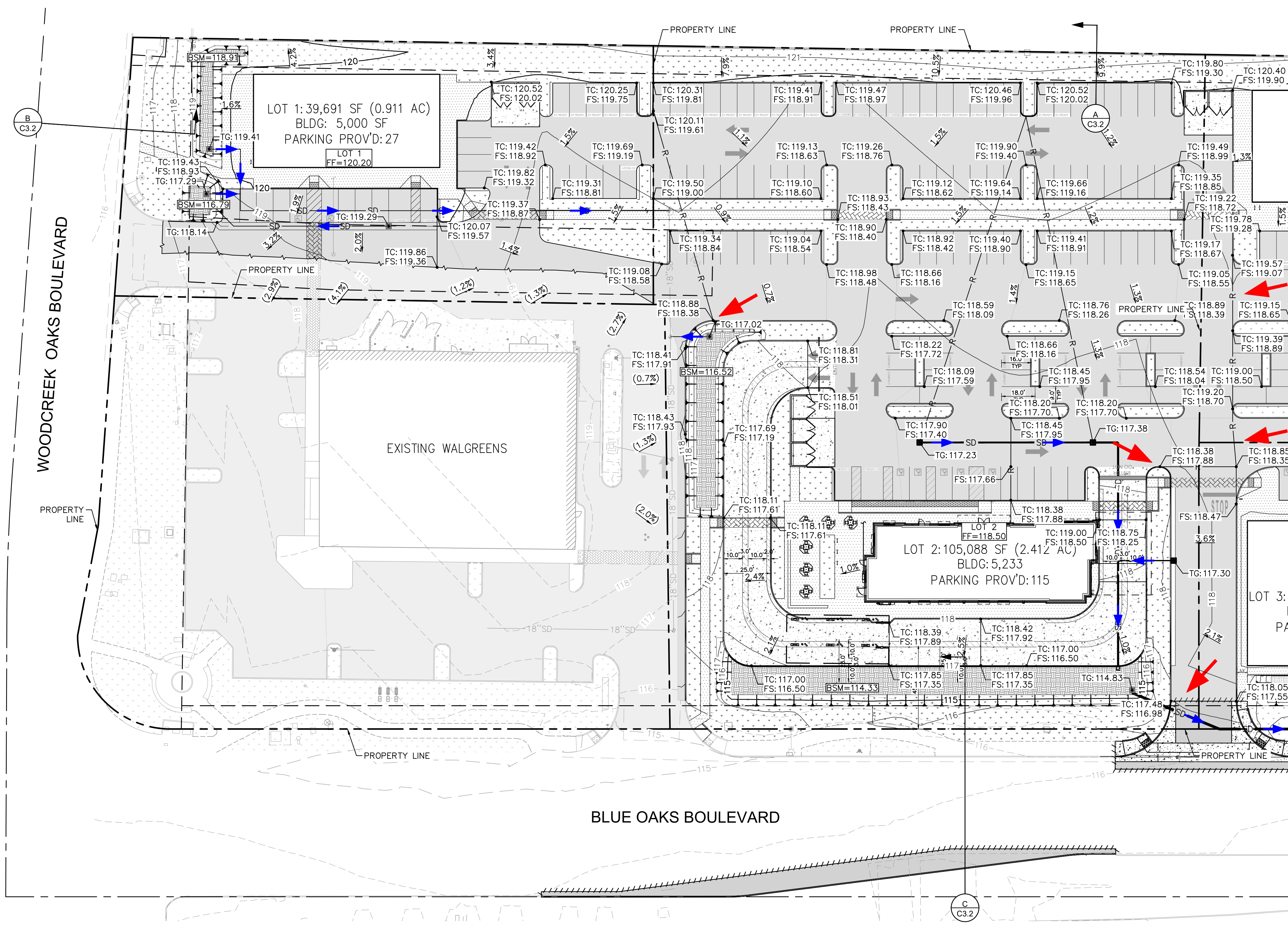
PRELIMINARY UTILITY PLAN

SHEET NUMBER

C2.0

No.	REVISIONS	DATE	BY

K:\BAY_LDEV\check-ff-0\097672126 - cto #5032 - Blue Oaks & Woodcreek Oaks (casville)\CAD Exhibits\entitlements\C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN.dwg
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LEGEND

- PROPERTY LINE
- APPROXIMATE CIVIL LIMIT OF WORK LINE
- CENTER LINE
- EASEMENT LINE
- SAWCUT LINE
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN LINE
- FLOW LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- RIDGE LINE
- GRADE BREAK LINE
- POINT OF OVERLAND RELEASE
- STORM DRAIN FLOW ARROW
- SURFACE DRAINAGE ARROW
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- PROPOSED FLOW (DIRECTION AND SLOPE)
- PROPOSED ASPHALT CONCRETE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE
- STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL
- PROPOSED LANDSCAPE AREA
- PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER
- PROPOSED RIPRAP

EXISTING UTILITY NOTE

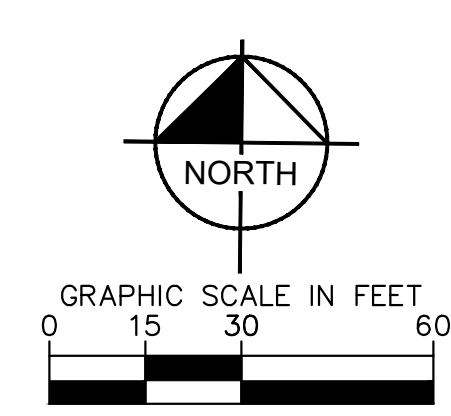
THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

- ### GENERAL NOTES
- SITE GRADING AND DRAINAGE SYSTEM SHALL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
 - SURFACE WATER WILL DRAIN AWAY FROM THE BUILDING. WHERE PLAUSIBLE, GRADES SHALL FALL A MINIMUM OF 5% WITHIN THE FIRST 10 FEET (2% FOR IMPERVIOUS SURFACES) PER CGC SECTION 1804.4. SEE HEREON FOR CONSTRUCTION DETAILS.
 - CONTRACTOR TO VERIFY EXISTING SLOPES IN ADA STALLS ARE COMPLIANT, 2% MAXIMUM IN ANY DIRECTION.

ABBREVIATIONS

BLDG	- BUILDING	HP	- HIGH POINT
C/L	- CENTERLINE	INV	- INVERT
CO	- CLEANOUT	LP	- LOW POINT
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FL	- FLOW LINE	SD	- STORM DRAIN
FS	- FINISHED SURFACE	SS	- SANITARY SEWER
FW	- FIRE WATER	TC	- TOP OF CURB
GB	- GRADE BREAK	VIF	- VERIFY IN FIELD
		W	- WATER OR WEST

SEE SHEET C4.1 FOR CONTINUATION



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ROSEVILLE, CA 95747

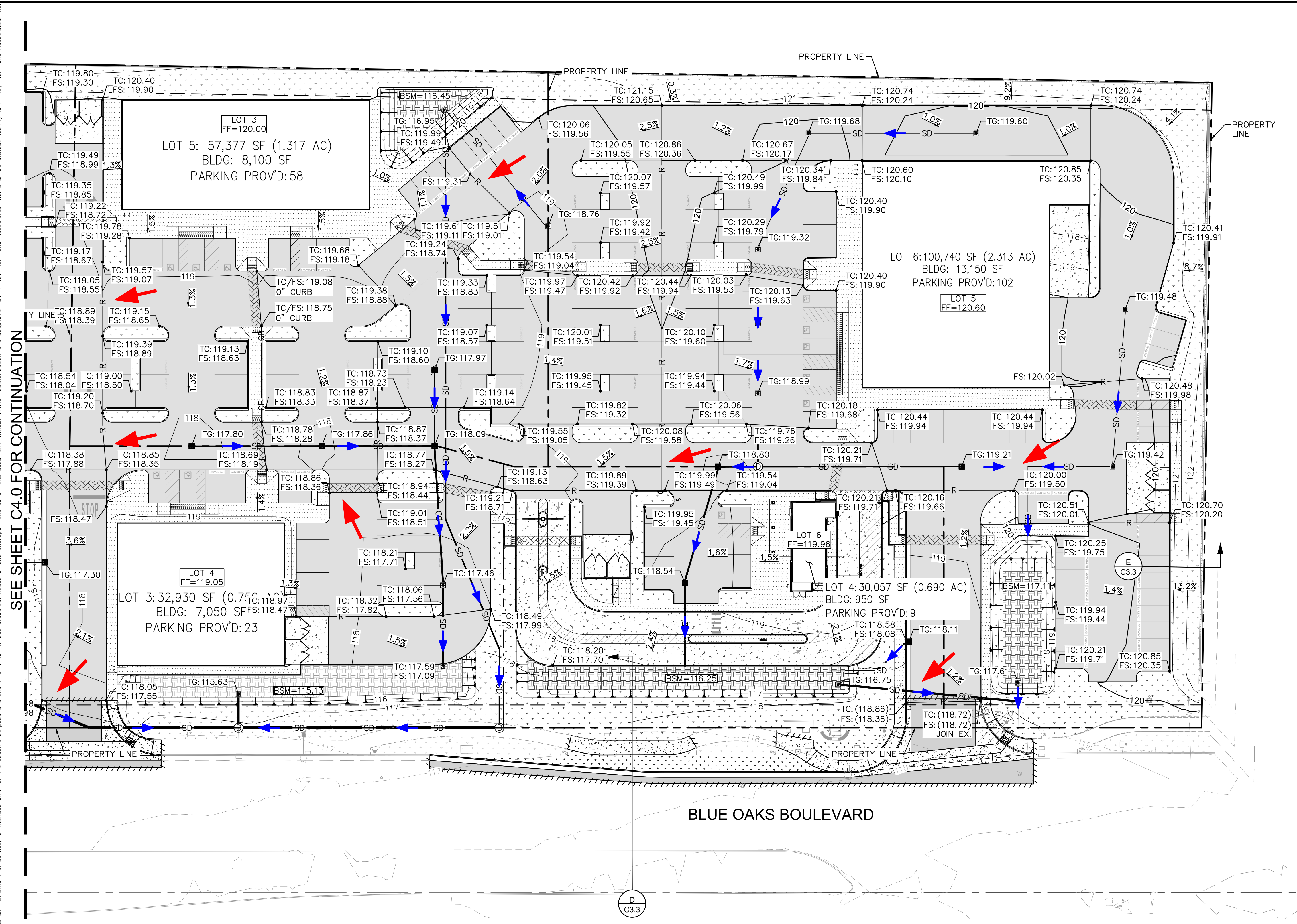


PRELIMINARY GRADING AND DRAINAGE PLAN

SHEET NUMBER

C3.0

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LEGEND

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- CENTER LINE
- EASEMENT LINE
- SAWCUT LINE
- SD --- EXISTING STORM DRAIN LINE
- SD --- PROPOSED STORM DRAIN LINE
- FLOW LINE
- XXX --- PROPOSED CONTOUR
- EXISTING CONTOUR
- R --- RIDGE LINE
- GB --- GRADE BREAK LINE
- ← POINT OF OVERLAND RELEASE
- STORM DRAIN FLOW ARROW
- SURFACE DRAINAGE ARROW
- XXX TC
XXX FS --- PROPOSED SPOT GRADE
- (XXX TC)
(XXX FS) --- EXISTING SPOT GRADE
- X.X% --- PROPOSED FLOW (DIRECTION AND SLOPE)
- [Pattern] --- PROPOSED ASPHALT CONCRETE
- [Pattern] --- PROPOSED CONCRETE SIDEWALK
- [Pattern] --- PROPOSED HEAVY DUTY CONCRETE
- [Pattern] --- STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL
- [Pattern] --- PROPOSED LANDSCAPE AREA
- [Pattern] --- PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER
- [Pattern] --- PROPOSED RIPRAP

EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

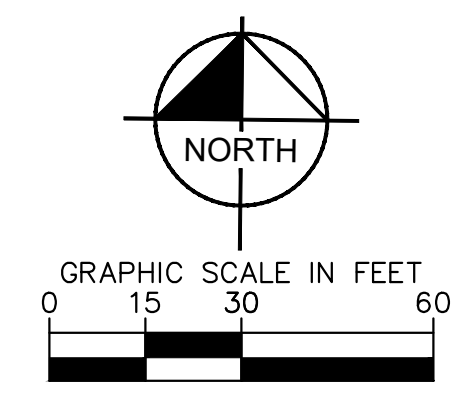
GENERAL NOTES

1. SITE GRADING AND DRAINAGE SYSTEM SHALL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
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3. CONTRACTOR TO VERIFY EXISTING SLOPES IN ADA STALLS ARE COMPLIANT, 2% MAXIMUM IN ANY DIRECTION.

ABBREVIATIONS

BLDG	- BUILDING	HP	- HIGH POINT
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		W	- WATER OR WEST

SEE SHEET C4.0 FOR CONTINUATION



No.	REVISIONS	DATE	BY

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KHA PROJECT 097672126
DATE 02/17/2023
SCALE AS SHOWN
DESIGNED BY SAL
DRAWN BY CKC
CHECKED BY JAK

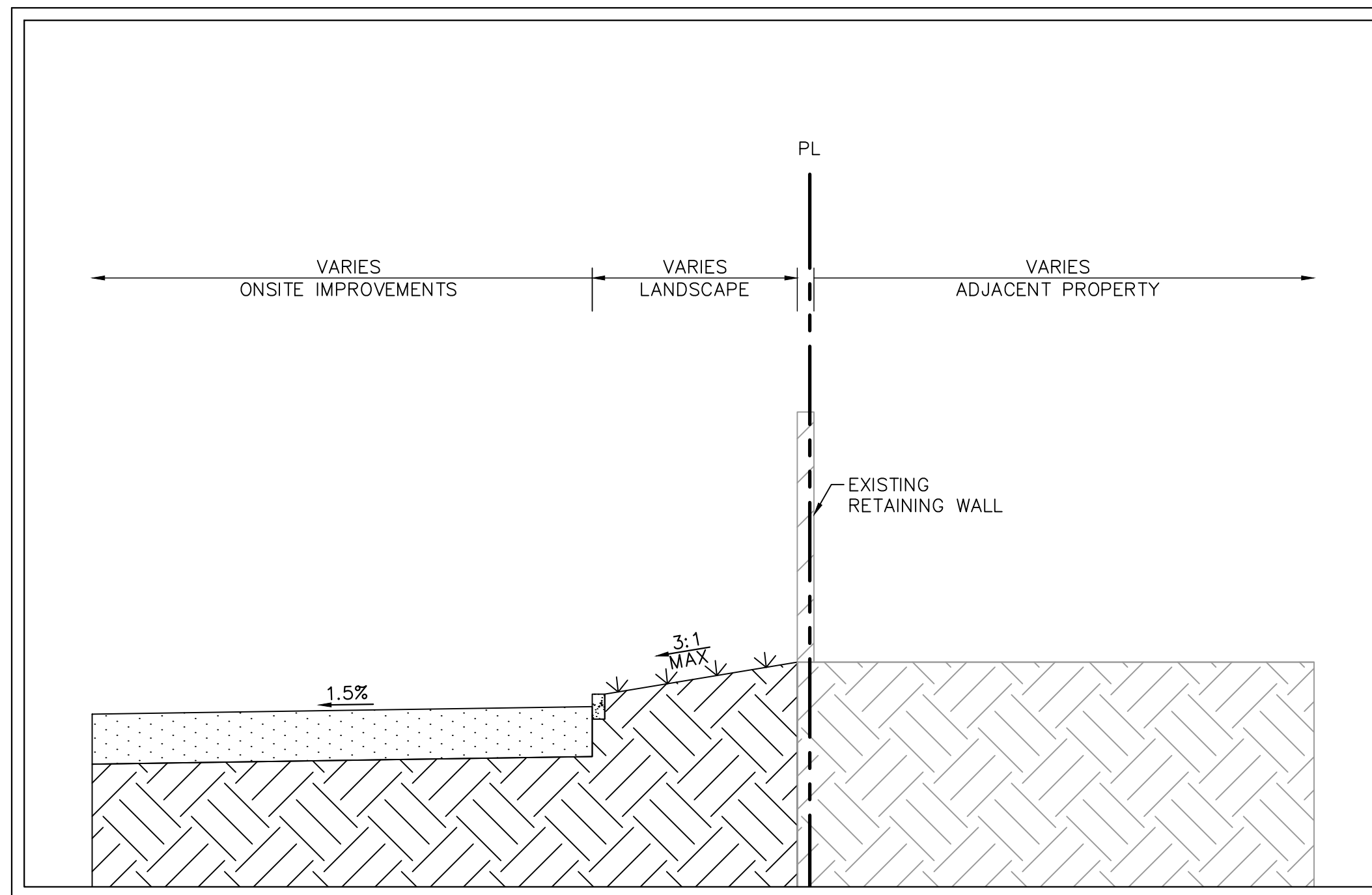
BLUE OAKS SHOPPING CENTER
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 ROSEVILLE, CA 95747



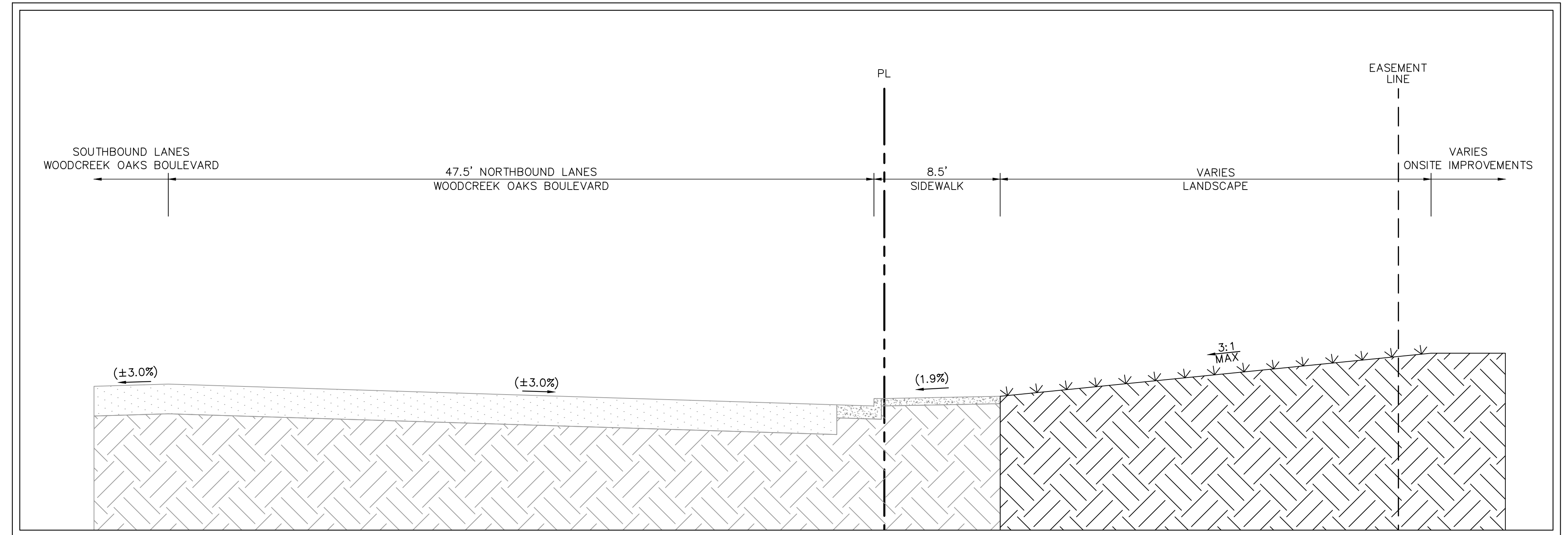
PRELIMINARY GRADING AND
DRAINAGE PLAN

SHEET NUMBER
C3.1

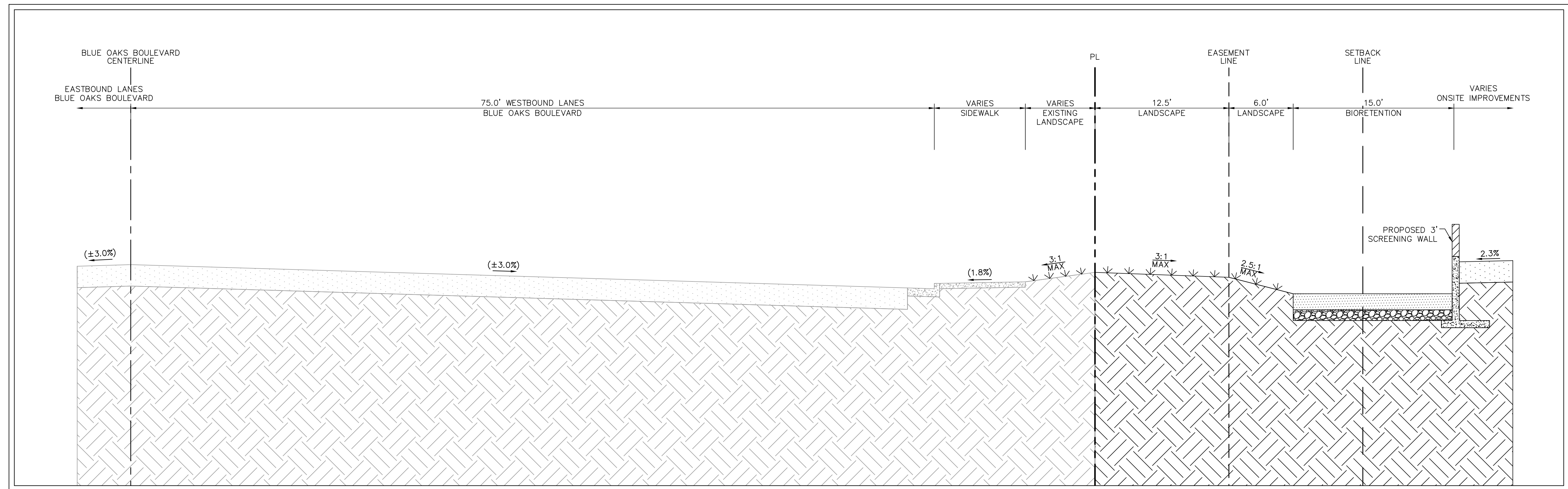
K:\BAY_LDEV\chick-fr-a\097672126 - cto #5032 - Blue Oaks & Woodcreek Oaks (casaville)\CAD Exhibits\entitlements\C3.2 TYPICAL CROSS SECTIONS.dwg
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A
C3.2 PROPOSED INTERNAL DRIVE TYPICAL SECTION
 HORIZ: 1"=5'
 VERT: 1"=5'



B
C3.2 PROPOSED WOODCREEK OAKS BOULEVARD TYPICAL SECTION
 HORIZ: 1"=5'
 VERT: 1"=5'



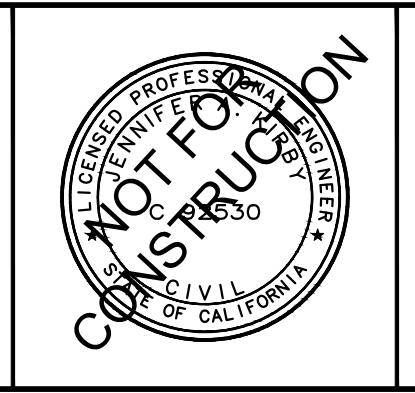
C
C3.2 PROPOSED BLUE OAKS BOULEVARD TYPICAL SECTION
 HORIZ: 1"=5'
 VERT: 1"=5'

No.	REVISIONS	DATE	BY

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KHA PROJECT	097672126
DATE	02/17/2023
SCALE	AS SHOWN
DESIGNED BY	SAL
DRAWN BY	CKC
CHECKED BY	JAK

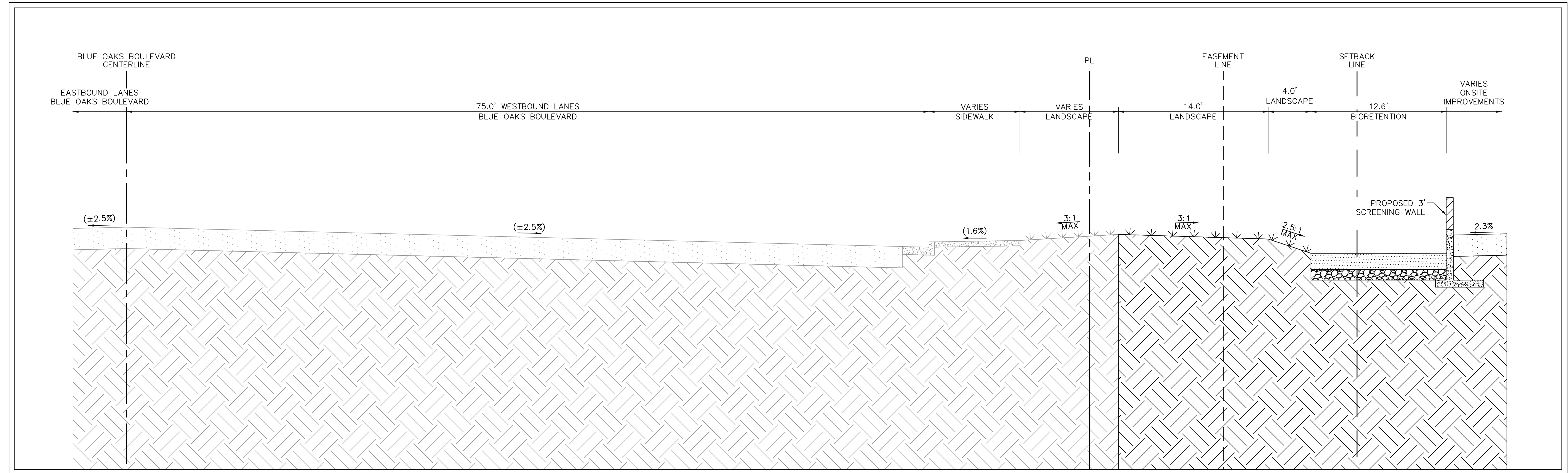
BLUE OAKS SHOPPING CENTER
 1480 BLUE OAKS BOULEVARD
 ROSEVILLE, CA 95747



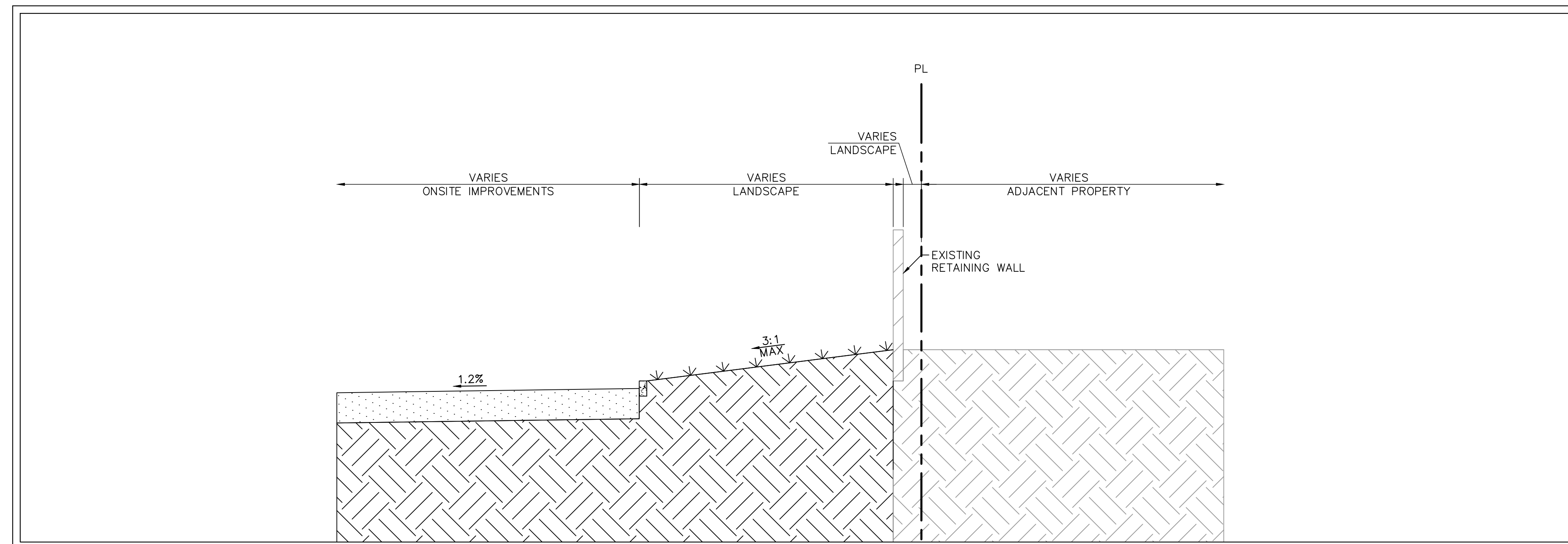
TYPICAL CROSS SECTIONS
C3.2

SHEET NUMBER

K:\BAY_LDEV\check-ri-a\097672126-ri-a.ctb #2032 - Blue Oaks & Woodcreek Oaks (casaville)\CAD Exhibits\entitlements\C3.2 TYPICAL CROSS SECTIONS.dwg
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D
 C3.3
PROPOSED BLUE OAKS BOULEVARD TYPICAL SECTION
 HORIZ: 1"=5'
 VERT: 1"=5'



E
 C3.3
PROPOSED INTERNAL DRIVE TYPICAL SECTION
 HORIZ: 1"=5'
 VERT: 1"=5'

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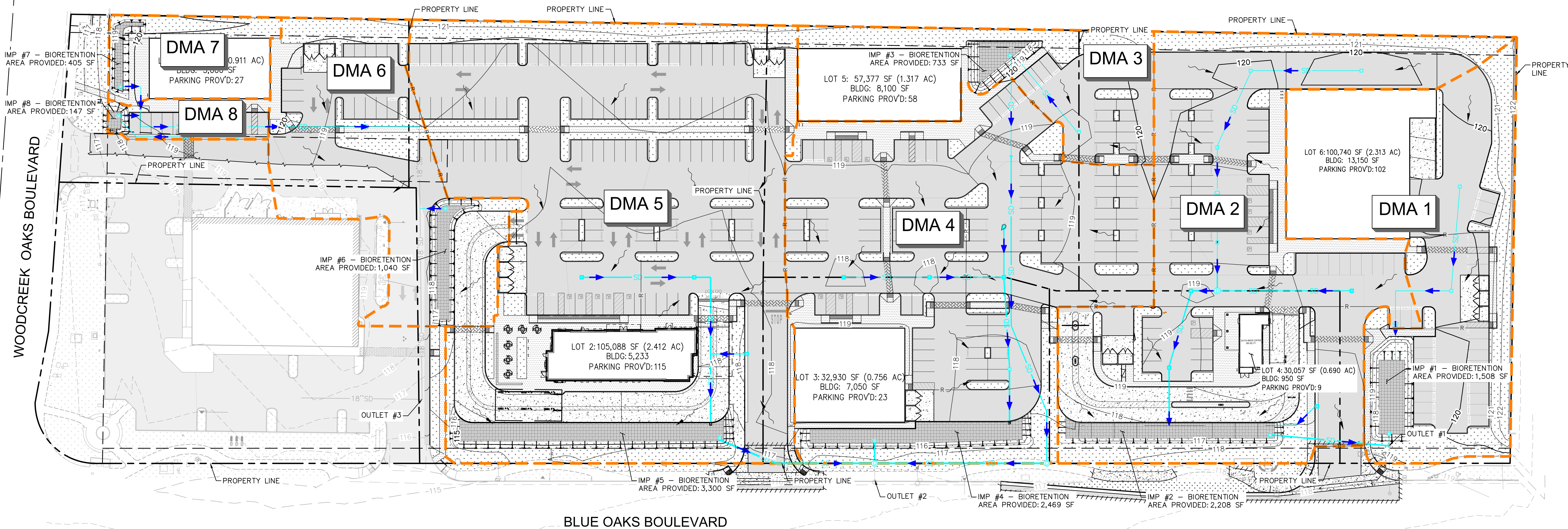


TYPICAL CROSS SECTIONS
C3.3

SHEET NUMBER

C3.3

K:\BAY_LDE\check-fig-097672126-ctb-#5032 - Blue Oaks & Woodcreek Oaks (casavillo)\CAD Exhibits\entitlements\C4.0 PRELIMINARY STORMWATER CONTROL PLAN.dwg
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LEGEND

- PROPERTY LINE
- APPROXIMATE CIVIL LIMIT OF WORK
- EASEMENT OR SETBACK LINE
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN LINE
- FLOW LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- RIDGE LINE
- GRADE BREAK LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- POINT OF OVERLAND RELEASE
- STORM DRAIN FLOW ARROW
- SURFACE DRAINAGE ARROW
- PROPOSED ASPHALT CONCRETE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE
- STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL
- PROPOSED LANDSCAPE AREA
- PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER
- PROPOSED RIPRAP

UTILITY NOTES

1. ALL UTILITY PIPE LENGTHS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. PIPE LENGTHS ARE NOT SHOWN FOR BIDDING OR ESTIMATING PURPOSES.
2. ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN ON THESE PLANS AS THEY ARE BELIEVED TO EXIST BASED ON AVAILABLE RECORDS BY OTHERS. THE OWNER AND ENGINEER DO NOT ACCEPT RESPONSIBILITY FOR THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, LOCATION, DEPTH, AND DIMENSION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT, POT-HOLING, AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AT ALL PROPOSED UTILITY CROSSINGS, AREAS OF EXCAVATION, AND WHERE CONSTRUCTION MAY BE AFFECTED BY THE LOCATION OR DEPTH OF THE UTILITY. DISCREPANCIES OR POTENTIAL CONFLICTS WITH PROPOSED IMPROVEMENTS MUST BE REPORTED TO AND RESOLVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

ABBREVIATIONS

- | | | | |
|-------|--------------------|-----|-------------------|
| BLDG | - BUILDING | HP | - HIGH POINT |
| C/L | - CENTERLINE | INV | - INVERT |
| CO | - CLEANOUT | LP | - LOW POINT |
| CONC. | - CONCRETE | MH | - MANHOLE |
| DI | - DRAIN INLET | N | - NORTH |
| E | - ELECTRIC OR EAST | P/L | - PROPERTY LINE |
| ESMT | - EASEMENT | R | - RIDGE OR RADIUS |
| FF | - FINISHED FLOOR | R/W | - RIGHT-OF-WAY |
| FG | - FINISHED GRADE | S | - SOUTH |
| FL | - FLOW LINE | SD | - STORM DRAIN |
| FS | - FINISHED SURFACE | SS | - SANITARY SEWER |
| FW | - FIRE WATER | TC | - TOP OF CURB |
| GB | - GRADE BREAK | VIF | - VERIFY IN FIELD |
| | | W | - WATER OR WEST |

PROPOSED STORMWATER TREATMENT SUMMARY

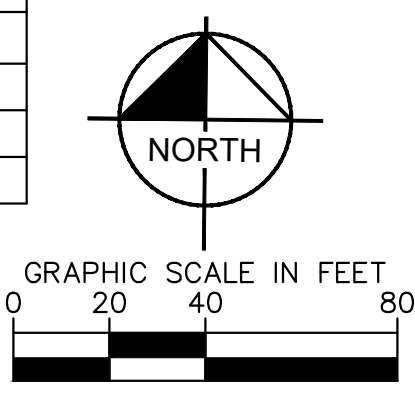
	TOTAL AREA (SF)	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (SF) - IMP CALC	PROVIDED TREATMENT (SF)	TREATMENT TYPE
DMA 1	50,094	12,794	37,300	1,505	1,508	BIORETENTION
DMA 2	64,607	15,082	49,525	2,205	2,208	BIORETENTION
DMA 3	23,419	6,979	16,440	722	733	BIORETENTION
DMA 4	73,792	12,732	61,060	2,370	2,469	BIORETENTION
DMA 5	101,968	22,868	79,100	3,262	3,300	BIORETENTION
DMA 6	30,371	11,035	19,336	973	1,040	BIORETENTION
DMA 7	9,359	3,424	5,935	273	405	BIORETENTION
DMA 8	4,288	526	3,762	143	147	BIORETENTION
TOTAL	357,898	85,440	272,458	11,453	11,810	N/A

IMPERVIOUS VS PERVIOUS AREA

	TOTAL CONSTRUCTION AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	PERCENT PERVIOUS
EXISTING	357,898	36,778	321,120	89.7%
PROPOSED	357,898	272,458	85,440	23.9%

SOURCE CONTROL BMPs

BMP ID	BMP DESCRIPTION
SD-10	SITE DESIGN AND LANDSCAPE PLANNING
SD-13	STORM DRAIN SIGNAGE
SD-31	MAINTENANCE BAYS AND DOCKS
SD-32	TRASH ENCLOSURES
SC-41	BUILDINGS AND GROUNDS MAINTENANCE
SC-43	PARKING/STORAGE AREA MAINTENANCE
SC-71	PLAZA AND SIDEWALK CLEANING
SC-73	LANDSCAPE MAINTENANCE
SC-74	DRAINAGE SYSTEM MAINTENANCE

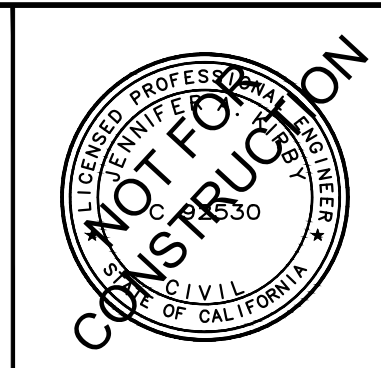


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BLUE OAKS SHOPPING CENTER

1480 BLUE OAKS BOULEVARD
ROSEVILLE, CA 95747

KHA PROJECT
097672126
DATE
02/17/2023
SCALE AS SHOWN
DESIGNED BY SAL
DRAWN BY OKC
CHECKED BY JAK



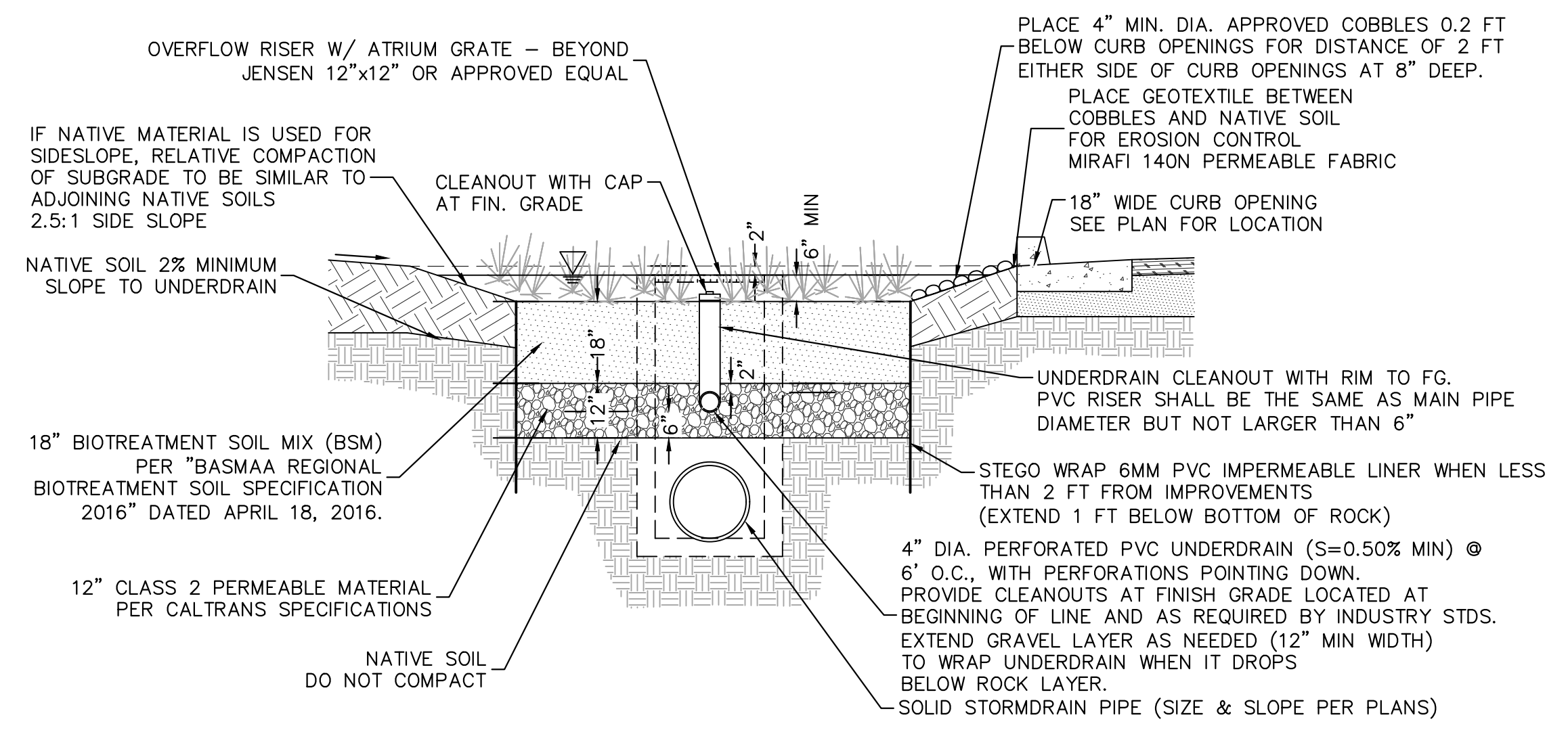
PRELIMINARY STORMWATER CONTROL PLAN

SHEET NUMBER

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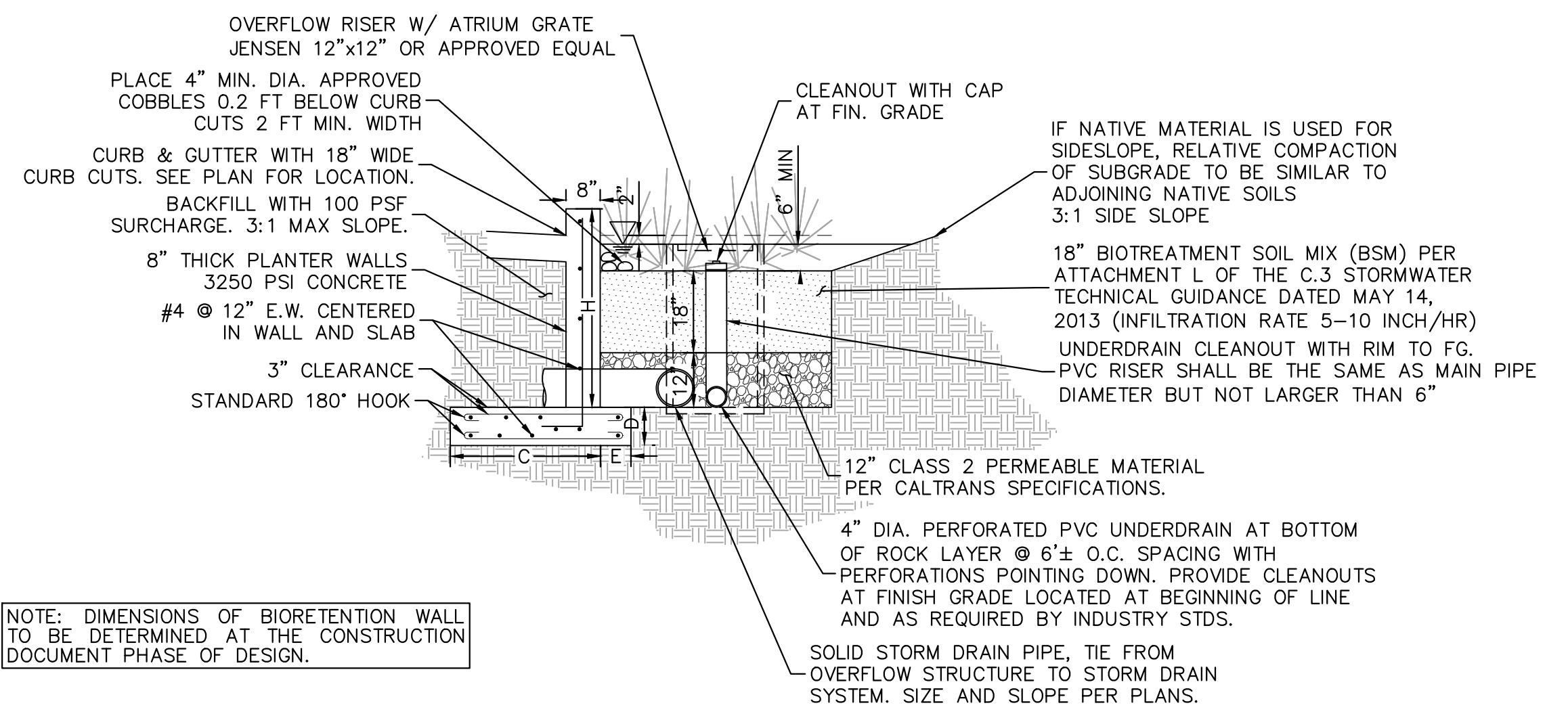
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K:\BAY_LDEVA\chick-fr-e\097672126 - cto #5032 - blue oaks & woodcreek oaks (casaville)\CAD Exhibits\ventilations\C4.0 PRELIMINARY STORMWATER CONTROL PLAN.dwg
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BIORETENTION SYSTEM
N.T.S.

1



HYBRID BIORETENTION SYSTEM
N.T.S.

2

NOTE: DETAILS ARE PROVIDED FOR REFERENCE ONLY. DESIGN TO BE FINALIZED AT THE CONSTRUCTION DOCUMENT PHASE.

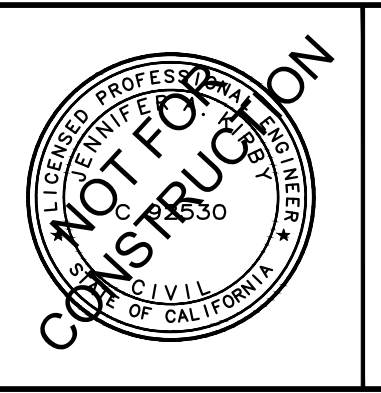
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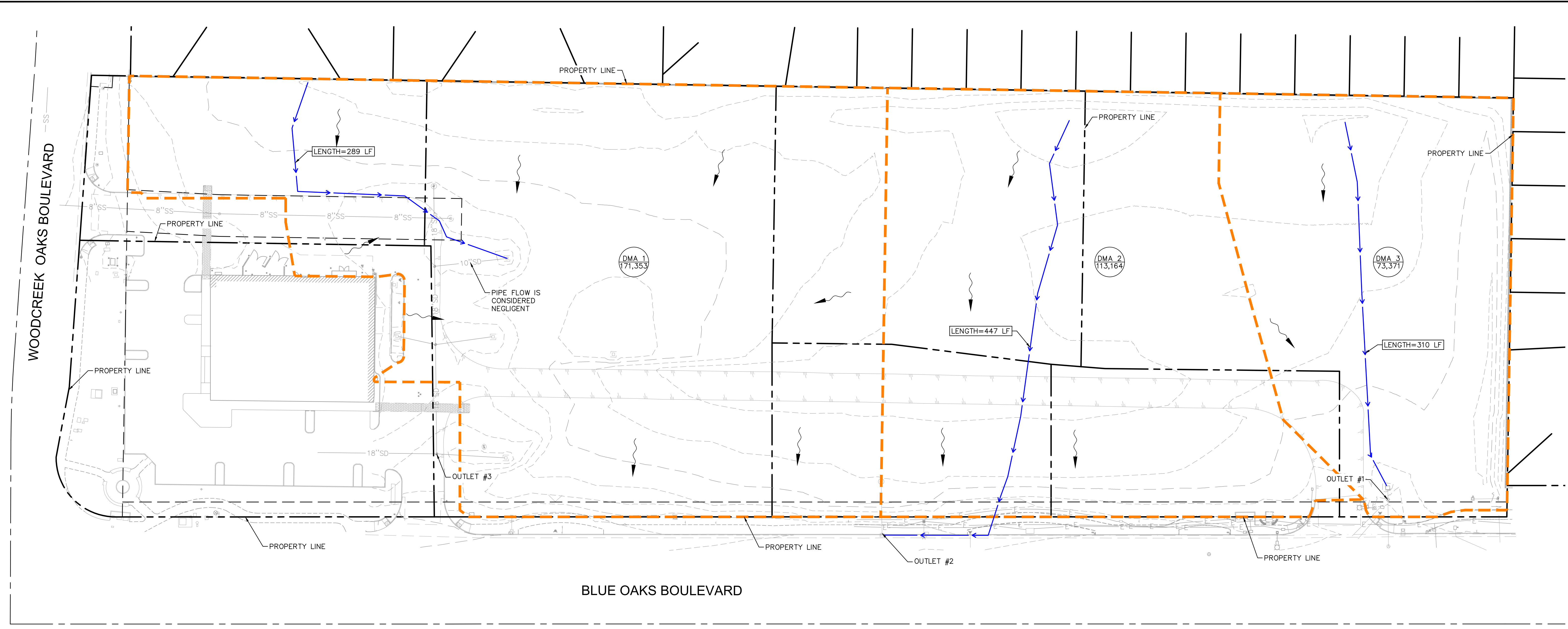
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PRELIMINARY STORMWATER DETAILS

SHEET NUMBER
C4.1

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LEGEND:

- CENTER LINE
- PROPERTY LINE
- EASEMENT LINE
- EXISTING STORM DRAIN LINE
- FLOW PATH LINE
- DMA BOUNDARY AREA
- FLOW DIRECTION

PRE-CONSTRUCTION DMA SUMMARY			
	TOTAL AREA (SF)	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)
DMA 1	171,353	153,704	17,649
DMA 2	113,164	101,508	11,656
DMA 3	73,371	65,814	7,557
TOTAL	357,888	321,026	36,862

No.	REVISIONS	DATE	BY

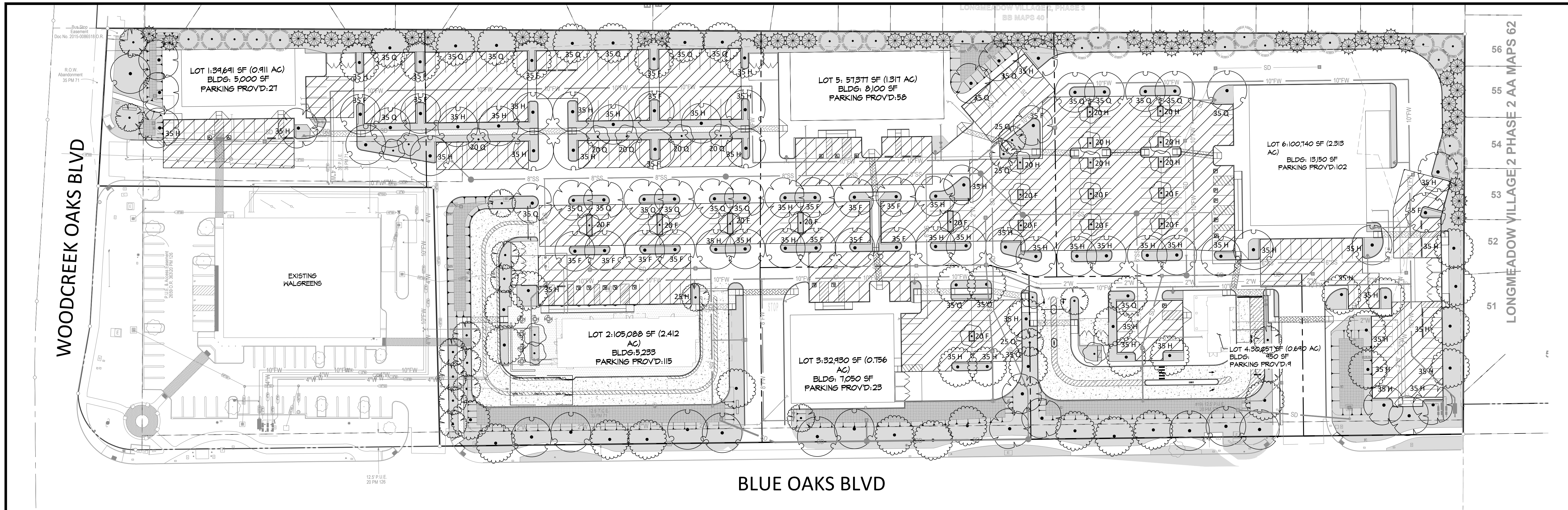
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KHA PROJECT 097672126
DATE 10/12/2022
SCALE AS SHOWN
DESIGNED BY SAL
DRAWN BY CKC
CHECKED BY JAK

BLUE OAKS SHOPPING CENTER
 1480 BLUE OAKS BOULEVARD
 ROSEVILLE, CA 95747

EXISTING HYDROLOGY

SHEET NUMBER
SHEET 1 OF 1



SHADE CALCULATION TABLE

Symbol	Tree Size	Tree Species Included	Interior Planter - 100%	South, East, and West - 50%	Corner and North - 25%	Total (sq. ft)
35F, 35H, 35Q	Large (30'-35')	Zelkova serrata 'Village Green' Pistacia chinensis 'Keith Davey' Platanus acerifolia 'Bloodgood'	19 @ 962	50 @ 481	26 @ 240	48568
30F, 30H, 30Q	Medium to Large (25'-30')		0 @ 707	0 @ 354	0 @ 177	0
25F, 25H, 25Q	Medium to Small (20'-25')	Acer buergerianum	0 @ 491	1 @ 246	3 @ 123	615
20F, 20H, 20Q	Small (15'-20')	Arbutus 'Marina'	12 @ 314	7 @ 157	5 @ 79	5262
TOTAL TREE SHADE =						54445
TOTAL AREA OF PAVING =						106773
SHADE AREA REQUIRED =						53386.5
PERCENT SHADE =						51%

PAVED VEHICULAR SURFACE AREA INCLUDED IN CALCULATIONS, PER COUNTY ZONING CODE REQUIREMENTS FOR PARKING LOT SHADE

NOTES:
1. THE PLAN SHOWS ALL EXISTING AND PROPOSED TREE LOCATIONS ON THE PROJECT SITE. ONLY THOSE TREES USED IN SHADE CALCULATIONS ARE ANNOTATED WITH DIAMETER COVERAGE AND ARE INCLUDED IN THE SHADE CALCULATIONS TABLE.

IMPORTANT PLANTING NOTES

- ALL TREES IN PLANTERS LESS THAN 8' WIDE, OR TREES PLANTED CLOSER THAN 4' TO BACK OF CURB ARE TO BE INSTALLED WITH ROOT BARRIERS. BARRIERS TO EXTEND 8' FROM TRUNK.
- ALL PLANTING AREAS ON SITE TO RECEIVE 3" DEPTH OF WALK ON BARK MULCH EXCEPT AS OTHERWISE SPECIFIED.
- LANDSCAPE AT DUTCH BROTHERS SITE TO RECEIVE 3" DEPTH OF 1"-2" ROCK MULCH ONLY (NO BARK MULCH).
- NO FLOWERING TREES OR SHRUBS ARE TO BE PLANTED AT THE DUTCH BROTHERS OR CHICK-FIL-A SITES. THESE PLANTS ARE INDICATED WITH AN ASTERISK IN THE CANDIDATE PLANT LIST. FOR THE PURPOSE OF THIS PROJECT "NON-FLOWERING" MEANS FLOWERS ARE NOT HIGHLY SHOWY AND ATTRACTIVE TO INSECTS, THOUGH TECHNICALLY WILL STILL BE PRESENT ON MOST PLANTS.

IRRIGATION NARRATIVE

PLANT MATERIAL WILL BE IRRIGATED WITH A LOW-VOLUME IRRIGATION SYSTEM UTILIZING A COMBINATION OF SUB-SURFACE IN-LINE AND POINT SOURCE DRIP, DEEP WATERING ROOT BUBBLERS, AND LOW-VOLUME MATCHED PRECIPITATION OVERHEAD SPRAY, AS APPROPRIATE. IRRIGATION WILL BE SEPARATED INTO HYDROZONES BASED ON THE WATER NEEDS OF SPECIFIC PLANTS AND THE IRRIGATION CONTROL SYSTEM WILL INCLUDE WATER SAVING MEASURES SUCH AS EVAPOTRANSPIRATION DATA AND A WEATHER SENSOR. A SEPARATE IRRIGATION METER AND SYSTEM WILL BE PROVIDED FOR EACH PARCEL.

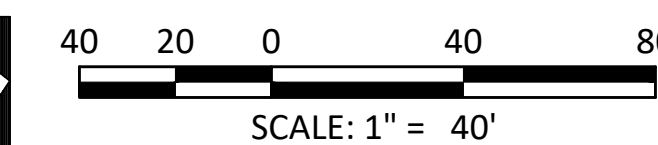
CANDIDATE PLANT LIST

COMMON NAME	CONT	WATER USE	HxW
GROUNDCOVERS			
COTONEASTER DAMMERI 'LOWFAST'	1 GAL	L	1'X8'
JUNIPERUS HORIZONTALIS 'BLUE CHIP'	1 GAL	L	1'X5'
ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GAL	L	1.5'X8'
SHRUBS & GRASSES			
ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'	5 GAL	L	5'X6'
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	5 GAL	L	4'X3'
CALLISTEMON VIMINALIS 'BETTER JOHN'	5 GAL	L	2.5'X3'
CARPENTERIA CALIFORNICA	5 GAL	L	5'X5'
CEANOTHUS MARITIMUS 'VALLEY VIOLET'	5 GAL	L	2'X4'
DIANELLA REVOLUTA 'LITTLE REV'	1 GAL	L	1.5'X1.5'
DIETES VEGETA	5 GAL	L	4'X4'
FESTUCA MAIREI	5 GAL	L	2.5'X2.5'
LAVANDULA DENTATA 'GOODWIN CREEK GRAY'	5 GAL	L	2.5'X3'
MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM	1 GAL	L	4'X3'
NANDINA DOMESTICA 'FIRE POWER'	5 GAL	L	2'X2'
NANDINA DOMESTICA 'GULF STREAM' TM	5 GAL	L	3'X3'
RHAMNUS CALIFORNICA 'EVE CASE'	5 GAL	L	5'X5'
RHAPHIOLEPIS UMBELLATA 'MINOR GULF GREEN' TM	5 GAL	L	4'X4'
TULBAGHIA VIOLACEA	1 GAL	L	2'X2'
WESTRINGIA FRUTICOSA 'MORNING LIGHT'	5 GAL	L	3'X3'
XYLOSMA CONGESTUM 'COMPACTA'	5 GAL	L	4'X4'
STORMWATER PLANTING			
CHONDROPETALUM TECTORUM	5 GAL	L	2'X3'
CORNUS SERICEA 'KELSEY'	1 GAL	H	3'X3'
JUNCUS PATENS	5 GAL	M	2'X1'
LOMANDRA LONGIFOLIA 'BREEZE'	1 GAL	L	3'X3'
MUHLENBERGIA RIGENS	1 GAL	L	4'X4'

* PLANTS CONSIDERED "NON-FLOWERING"

TREE LEGEND

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HxW	QTY
	ACE BUE	ACER BUERGERIANUM	TRIDENT MAPLE	15 GAL	M	20'X25'	20
	ARB HYB	ARBUTUS X 'MARINA'	STRAWBERRY TREE	15 GAL	L	30'X25'	30
	CAL DEC	CALOCEDRUS DECURRENS	INCENSE CEDAR	15 GAL	M	50'X20'	22
	PIN HAL	PINUS HALEPENSIS	ALLEPO PINE	15 GAL	L	50'X15'	50
	PIS CHI	PISTACIA CHINENSIS 'KEITH DAVEY'	KEITH DAVEY CHINESE PISTACHE	15 GAL	L	30'X35'	53
	PLA BLO	PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	15 GAL	M	70'X35'	27
	ULM PAR	ULMUS PARVIFOLIA	LACEBARK ELM	15 GAL	VL	30'X35'	2
	ZEL VIL	ZELKOVA SERRATA 'VILLAGE GREEN'	SAWLEAF ZELKOVA	15 GAL	M	40'X35'	45



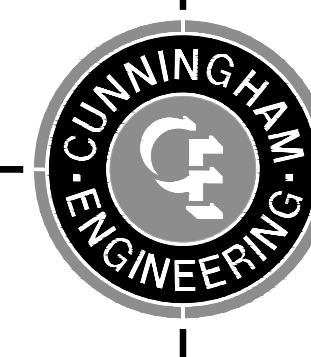
**BLUE OAKS SHOPPING CENTER
LANDSCAPE ENTITLEMENT SITE PLAN**

DESIGNED BY: BM
DRAWN BY: BM
CHECKED BY: ME

SCALE: 1" = 40'

ROSEVILLE

CALIFORNIA



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NO.	DATE	REVISIONS	BY	APPD.

SHEET 1 OF 1
DATE: 02/17/23
JOB NO: 1909.07



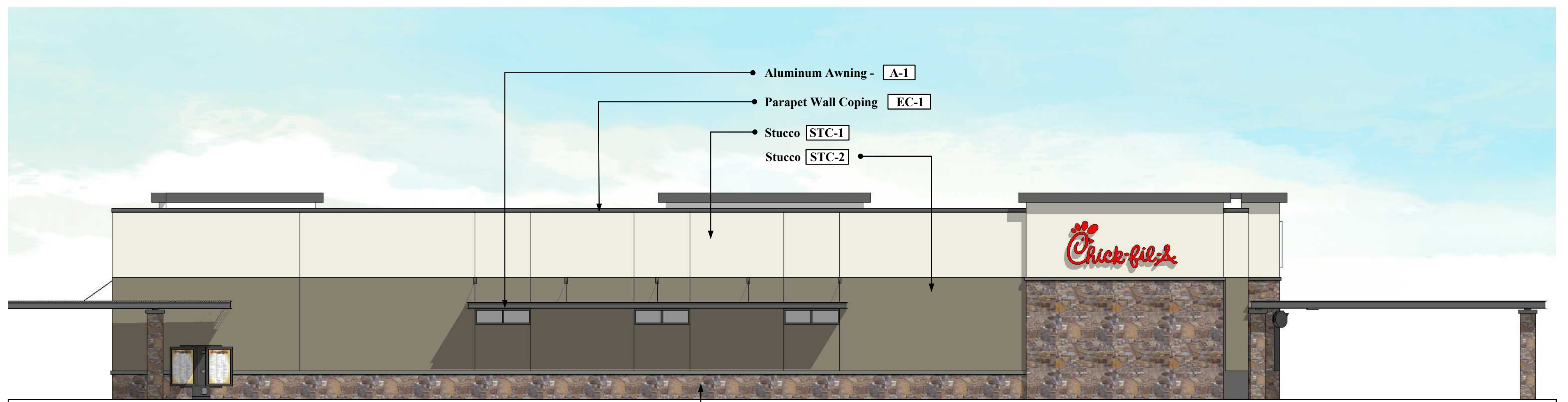
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



PRELIMINARY ELEVATIONS
Roseville, CA

File Name: 22-172 Color Elevations

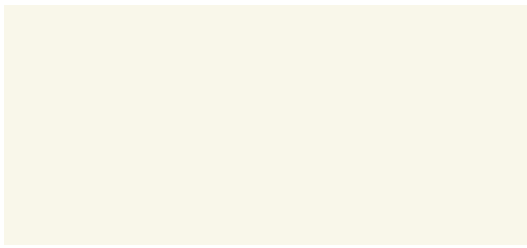
06-27-2022 Revised: 11-03-2022
02-17-2023 Revised: 03-02-2023

Note:
All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.

COLOR AND MATERIAL LEGEND

- [STN-1] Stone Veneer - Eldorado Stone "Cypress Ridge Orchard"
- [STC-1] Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
- [STC-2] Stucco - Paint Sherwin Williams #SW6172 "Hardware"
- [STC-3] Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
- [EC-1] Parapet Wall Coping - Durolast/Exceptional Metals - Dark Bronze (Matte)
- [A-1] Aluminum Awning - Color: "Dark Bronze"
- [ST-1] YKK Storefront System - Color: "Dark Bronze"





STC-1 STUCCO

Color to Match Sherwin Williams
SW 7566 "Westhighland White"

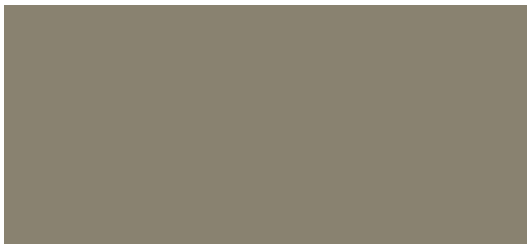


ST-1 STORE FRONT

A-1 METAL CANOPIES

EC-1 PARAPET WALL COPING

Color: "Dark Bronze"



STC-2 STUCCO

Color to Match Sherwin Williams
SW 6172 "Hardware"



STC-3 STUCCO

Color to Match Sherwin Williams
CFA Custom "Urban Night"



STN-1 STONE VENEER

Eldorado Stone - "Cypress Ridge"
Color: Orchard



BUILDING COLORS & MATERIALS
BLUE OAKS & WOODCREEK OAKS, ROSEVILLE, CA
06-29-22

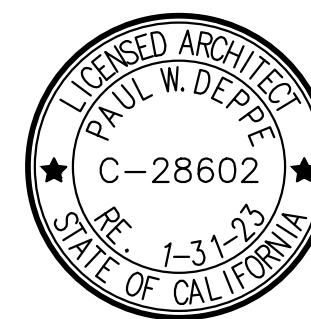




ARMÉT DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS

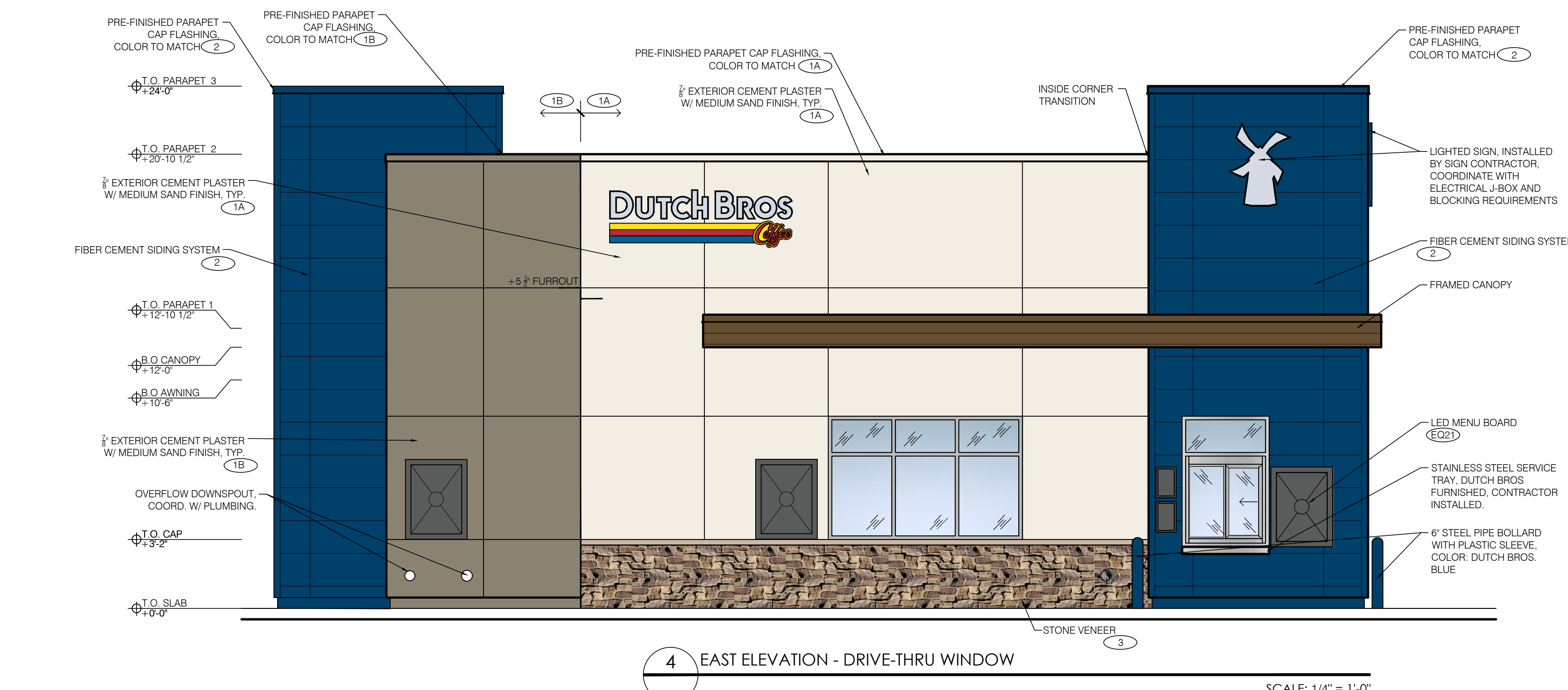
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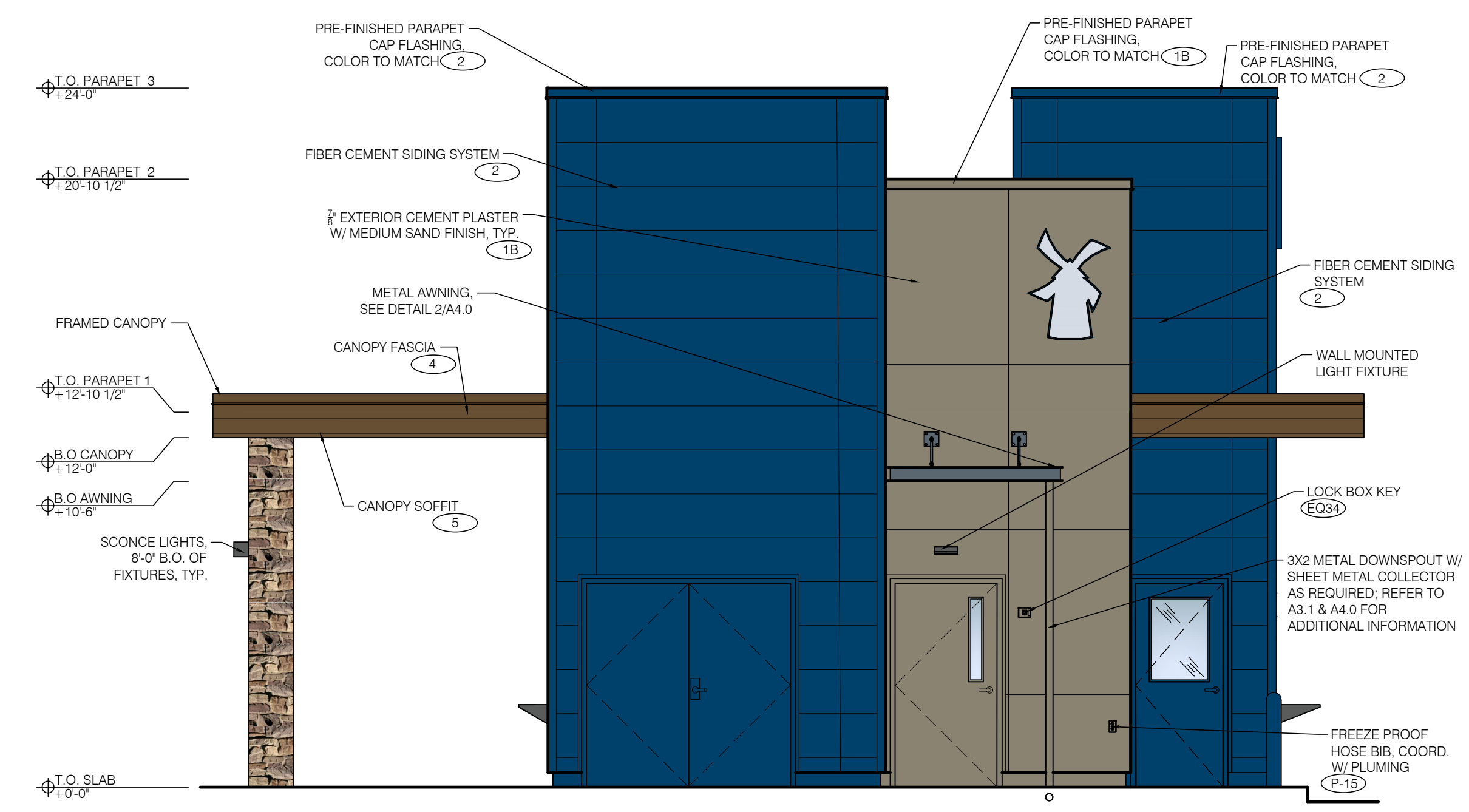


EXTERIOR FINISH SCHEDULE

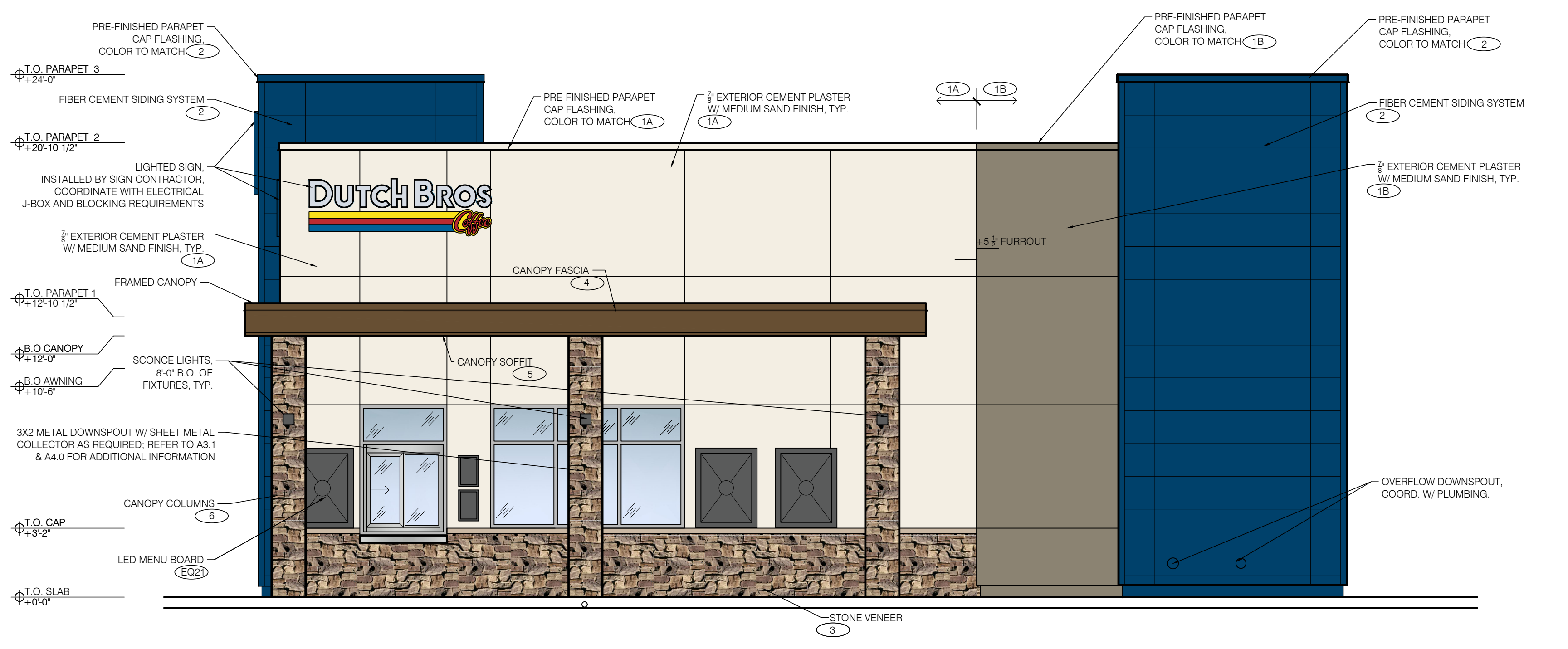
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	SW7566 WESTHIGHLAND WHITE	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
1B	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	SW6172 HARDWARE	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
ZONE 2 (TOWER) (ZZ)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 W/ OPEN OUTSIDE CORNERS	FACTORY PAINTED BLDG DB BLUE; CAP FLASHING TO MATCH BLDG DB BLUE
ZONE 3 (3'-2" BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, ORCHARD CYPRESS RIDGE	
	STONE VENEER SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL; SAND	
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	NICHIHA	VINTAGE WOOD - AWP-3030 - CEDAR	ORIENTATION: HORIZONTAL; CAP FLASHING TO MATCH COLOR CEDAR
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1X6, T&G, 3/4" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, ORCHARD CYPRESS RIDGE	
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS AND ALL NECESSARY ADAPTORS AT AWNING AND CANOPY LOCATIONS; DOWNSPOUT COLOR TO MATCH BODY MATERIAL PER ELEVATION				



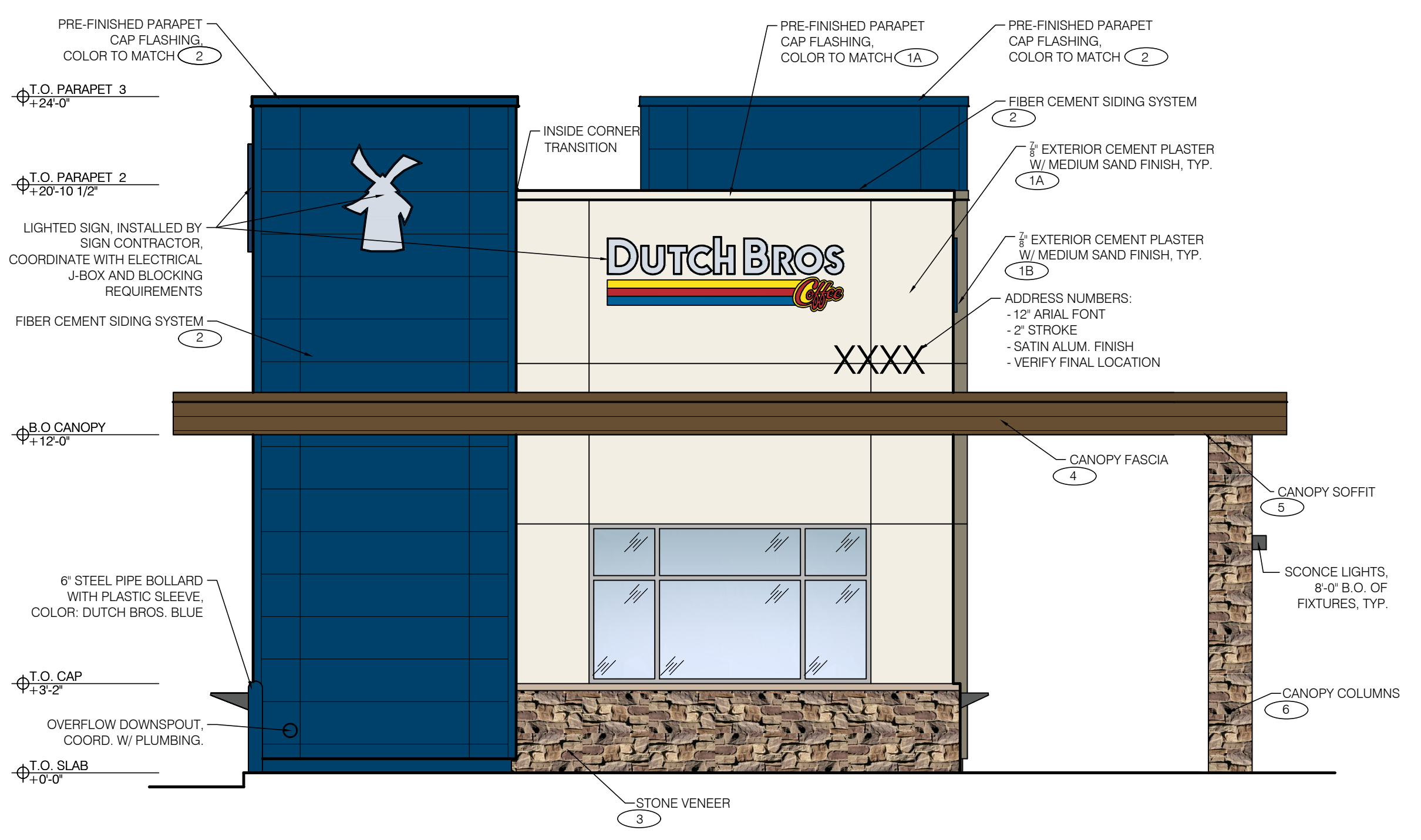
4 EAST ELEVATION - DRIVE-THRU WINDOW SCALE: 1/4" = 1'-0"



3 SOUTH-REAR ELEVATION SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - WALK-UP WINDOW SCALE: 1/4" = 1'-0"



1 NORTH-FRONT ELEVATION SCALE: 1/4" = 1'-0"

Project No: CA1506
Dutch Bros Coffee - Freestanding Store
2545 - A1 PROTOTYPE
1478 BLUE OAKS BLVD.
ROSEVILLE, CA 95747

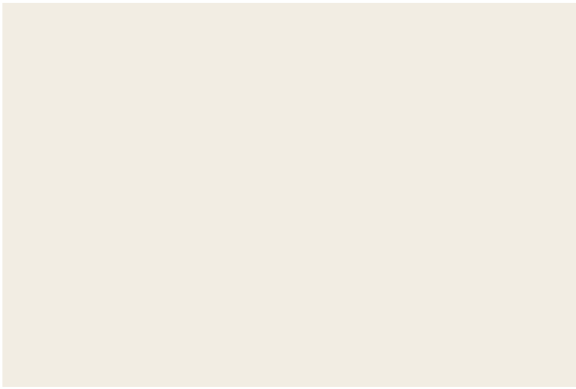
DATE: 06/01/2022
REV: DATE: DESCRIPTION:

SHEET NAME:

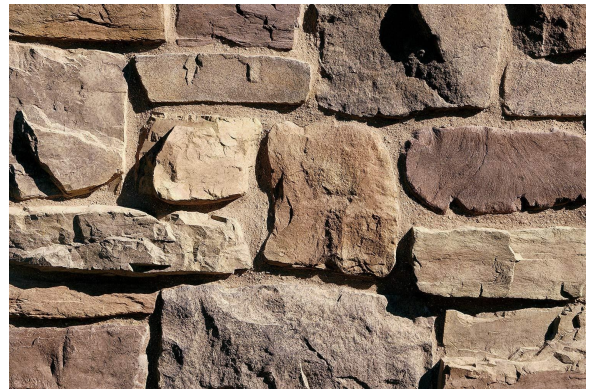
BUILDING ELEVATIONS
COLOR

SHEET NUMBER:

A6.1



EXTERIOR CEMENT PLASTER
SHERWIN WILLIAMS - SW7566
COLOR: WESTHIGHLAND WHITE



STONE VENEER AT WAINSCOT
ELDORADO STONE
COLOR: ORCHARD CYPRESS RIDGE



EXTERIOR CEMENT PLASTER
SHERWIN WILLIAMS - SW6172
COLOR: HARDWARE



WAINSCOT SILL
ELDORADO STONE - SNAPPED EDGE
COLOR: SAND



FIBER CEMENT SIDING AT TOWER
NICHHA - ILLUMINATION AWP-1818
COLOR: DUTCH BROS BLUE



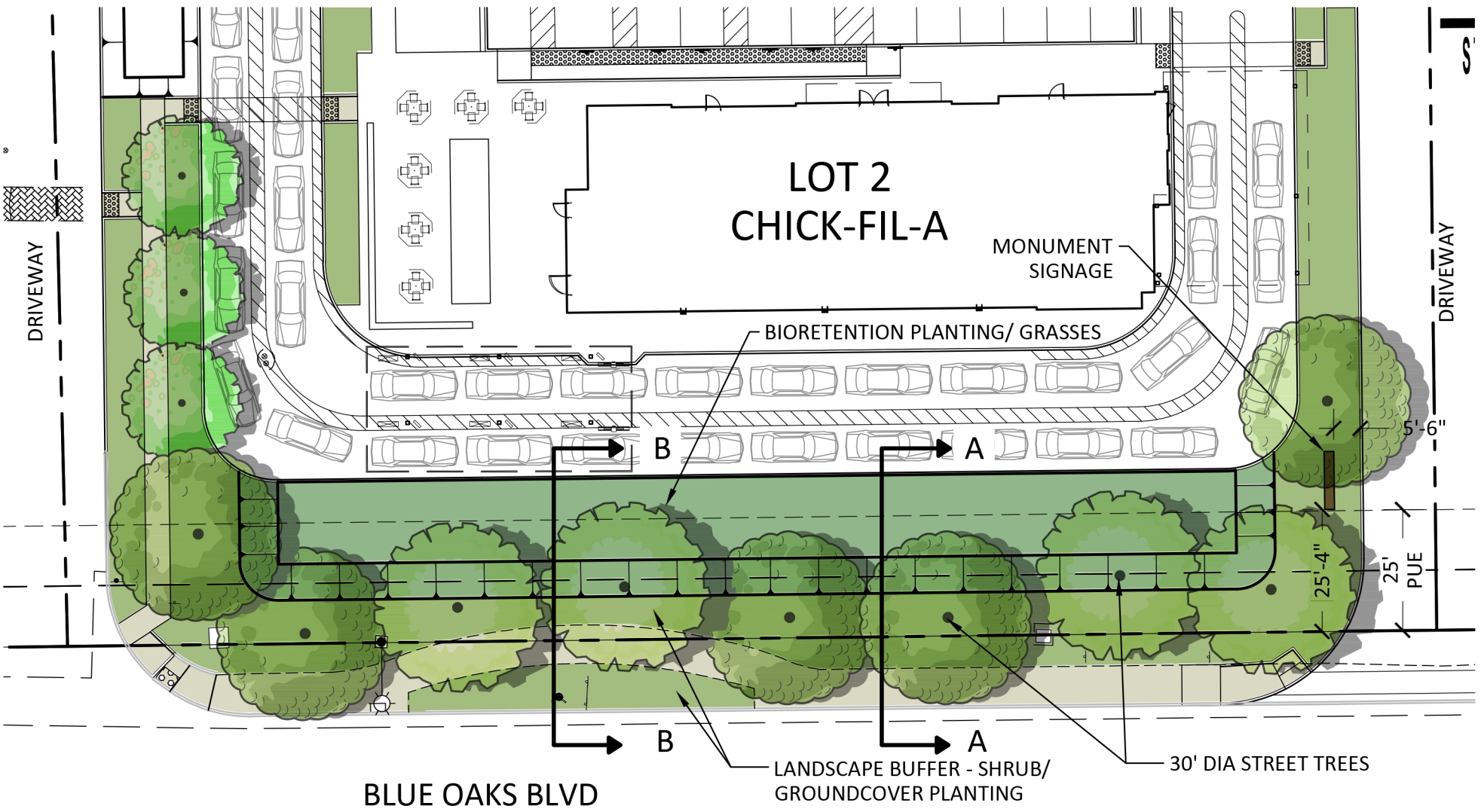
CANOPY FASCIA
NICHHA - VINTAGE WOOD AWP-3030
COLOR: CEDAR



Dutch Bros Coffee CA1506
1478 Blue Oaks Blvd.
Roseville, CA 95747



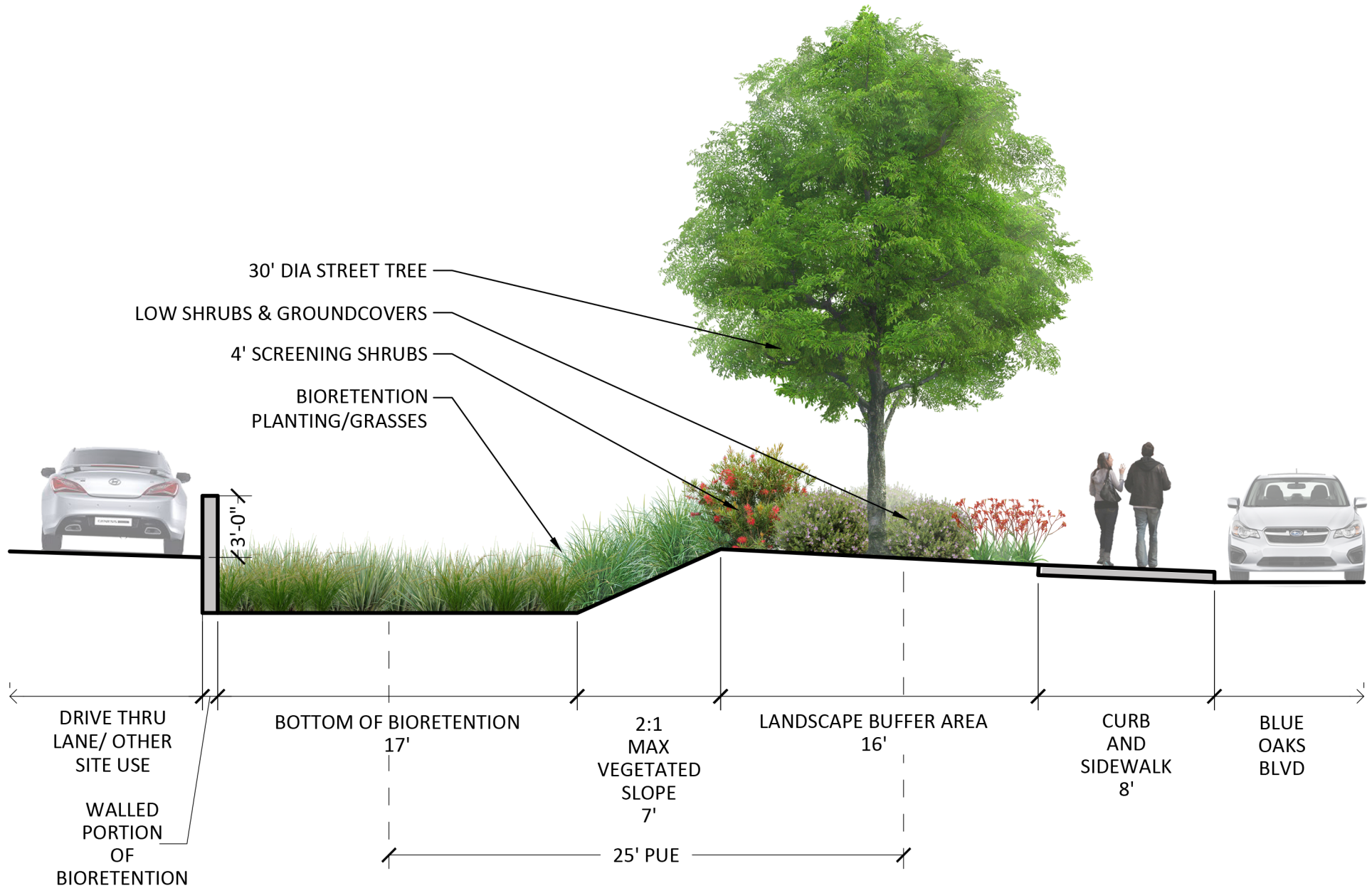
ARMET DAVIS NEWLOVE ARCHITECTS
PHONE: 310-773-7772



SCALE: 1" = 30'

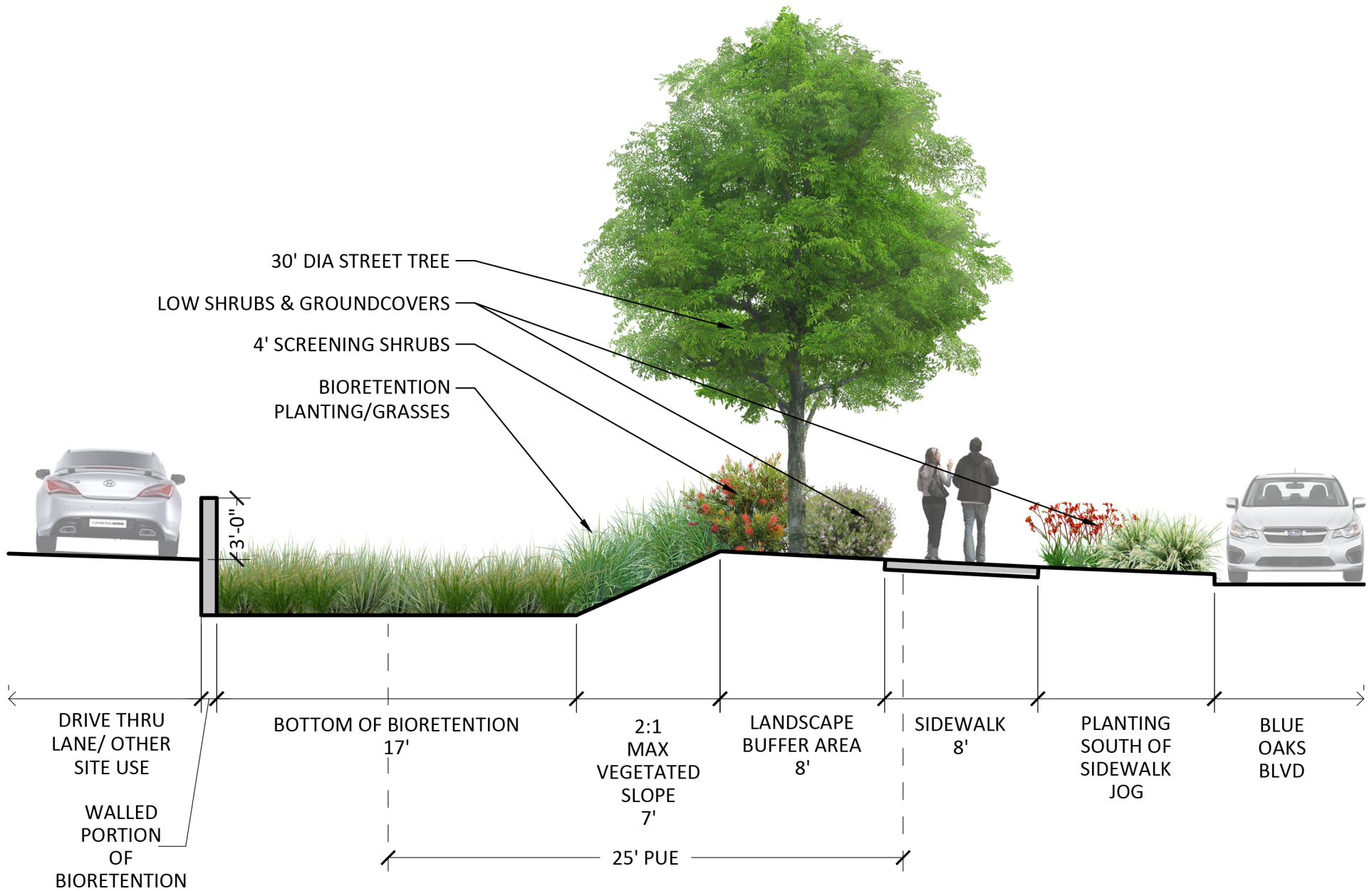






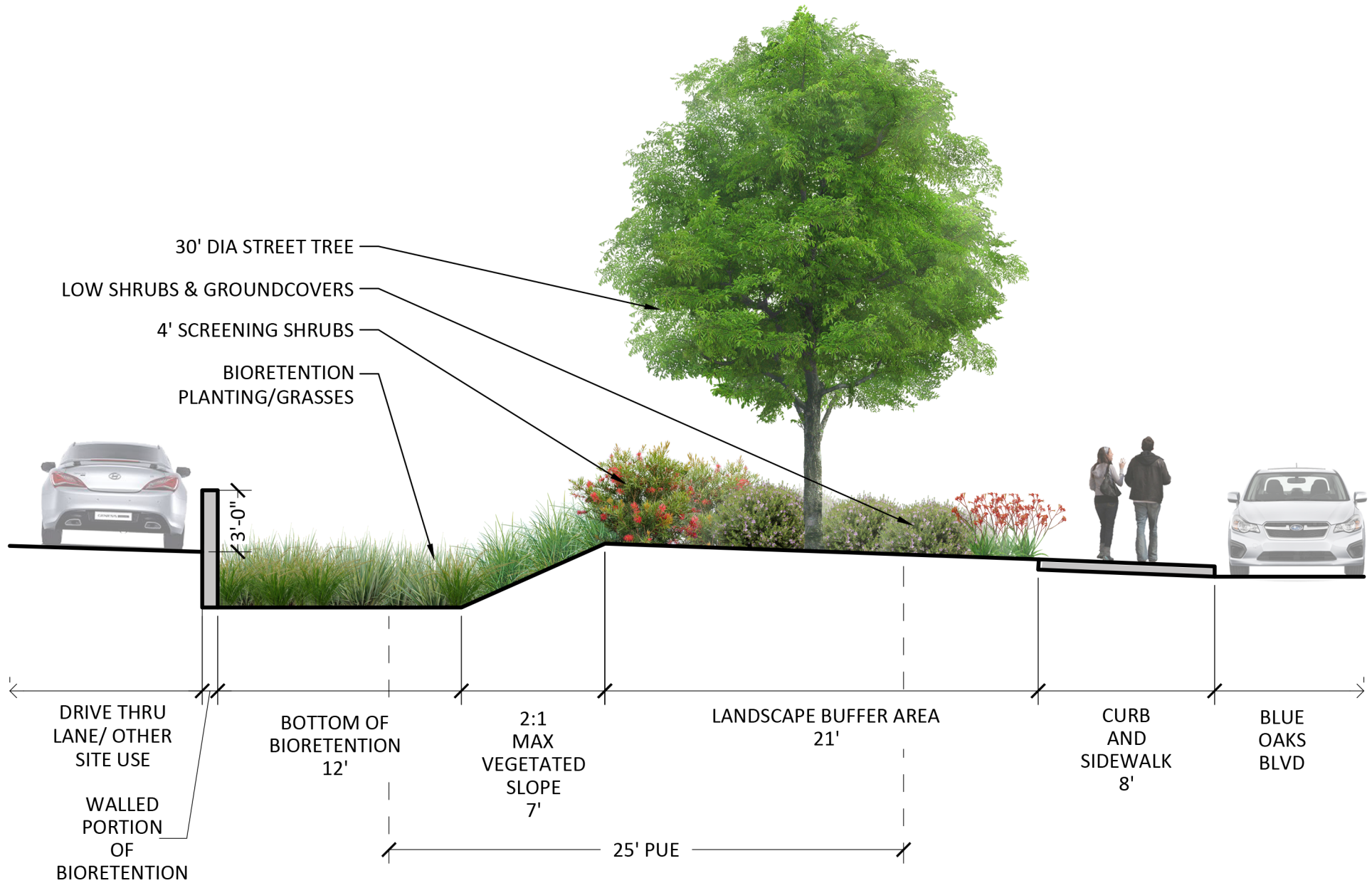
BLUE OAKS | TYPICAL STREETScape PLANTING SECTION A-A | 10.10.2022





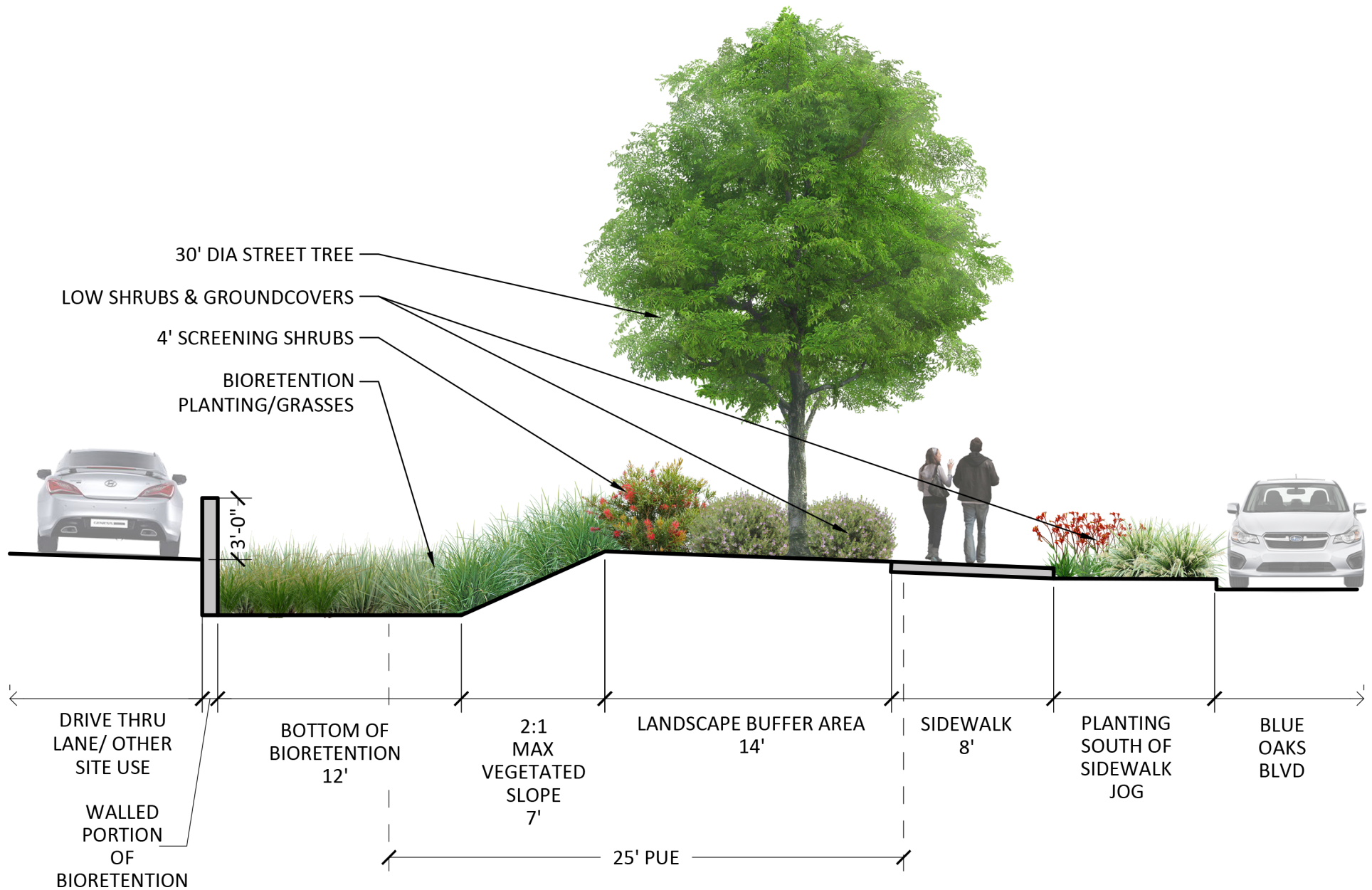
BLUE OAKS | TYPICAL STREETScape PLANTING SECTION B-B | 10.10.2022





BLUE OAKS | TYPICAL STREETScape PLANTING SECTION C-C | 10.10.2022





BLUE OAKS | TYPICAL STREETSCAPE PLANTING SECTION D-D | 10.10.2022



STREET TREE CANDIDATE SPECIES



Chinese Pistache
P. chinensis 'Keith Davey'



London Plane Tree
P. x acerifolia 'Bloodgood'



Japanese zelkova
Z. serrata 'Village Green'

BIORETENTION CANDIDATE SPECIES (BOTTOM OF BASIN)



Soft rush
Juncus effusus



Blue rush
Juncus patens



Cape rush
Chondropetalum tectorum



Lomandra 'Breeze'
L. longifolia 'Breeze'

BIORETENTION CANDIDATE SPECIES (SIDE SLOPES)



Deergrass
Muhlenbergia rigens



Pink Muhly
Muhlenbergia capilaris



Yarrow
Achillea x hybrids



Coyote bush
Baccharis pilularis



CA Wild Rose
Rosa californica

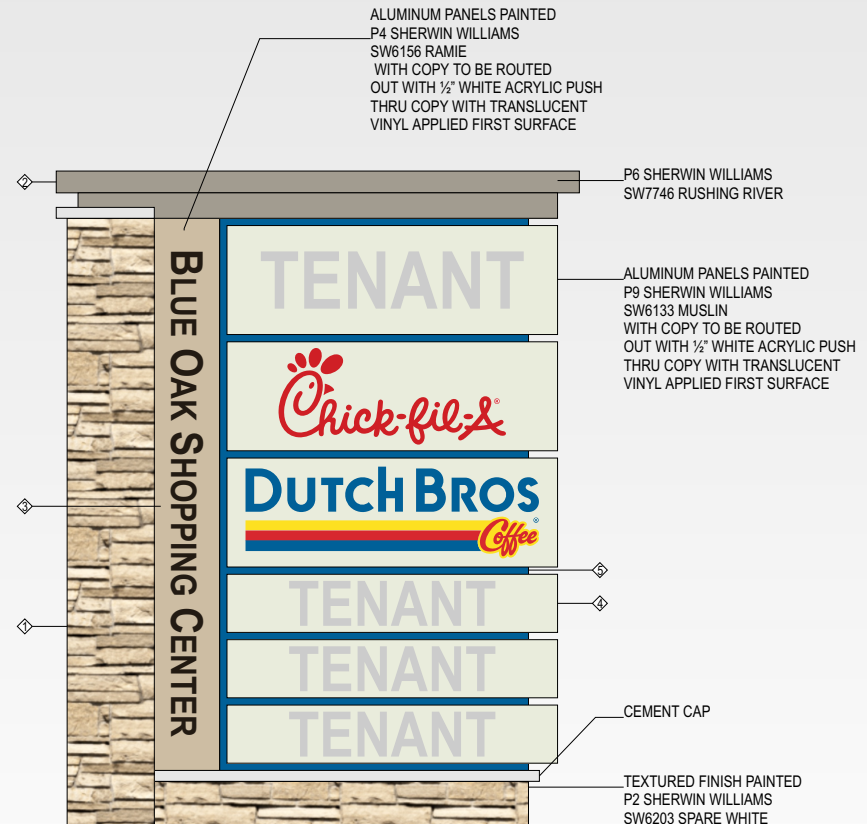
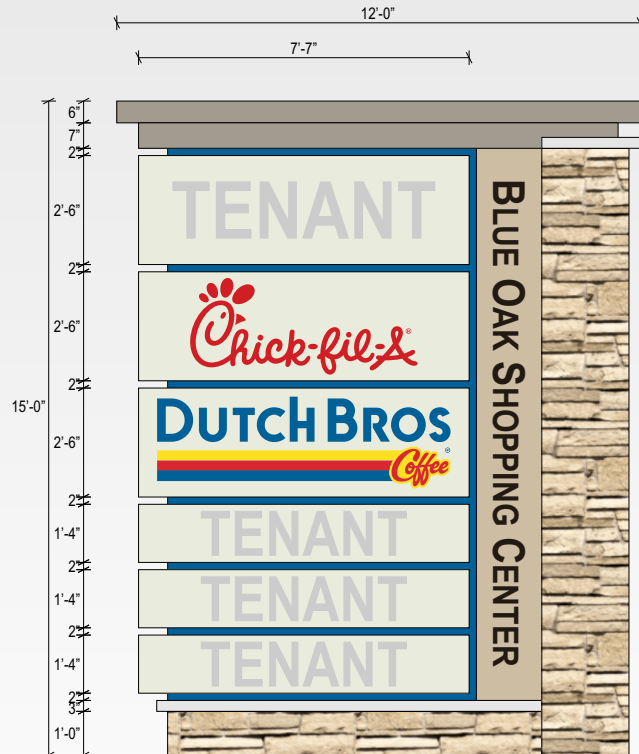
*Note: Substitutions may need to be made at time of construction based on availability. Any plant substitutions will have similar aesthetics and be appropriately suited for the location and climate.



Blue Oaks Shopping Center

1492 Blue Oaks Blvd, Roseville, CA 95747

Multi Tenant Panel Monument Sign

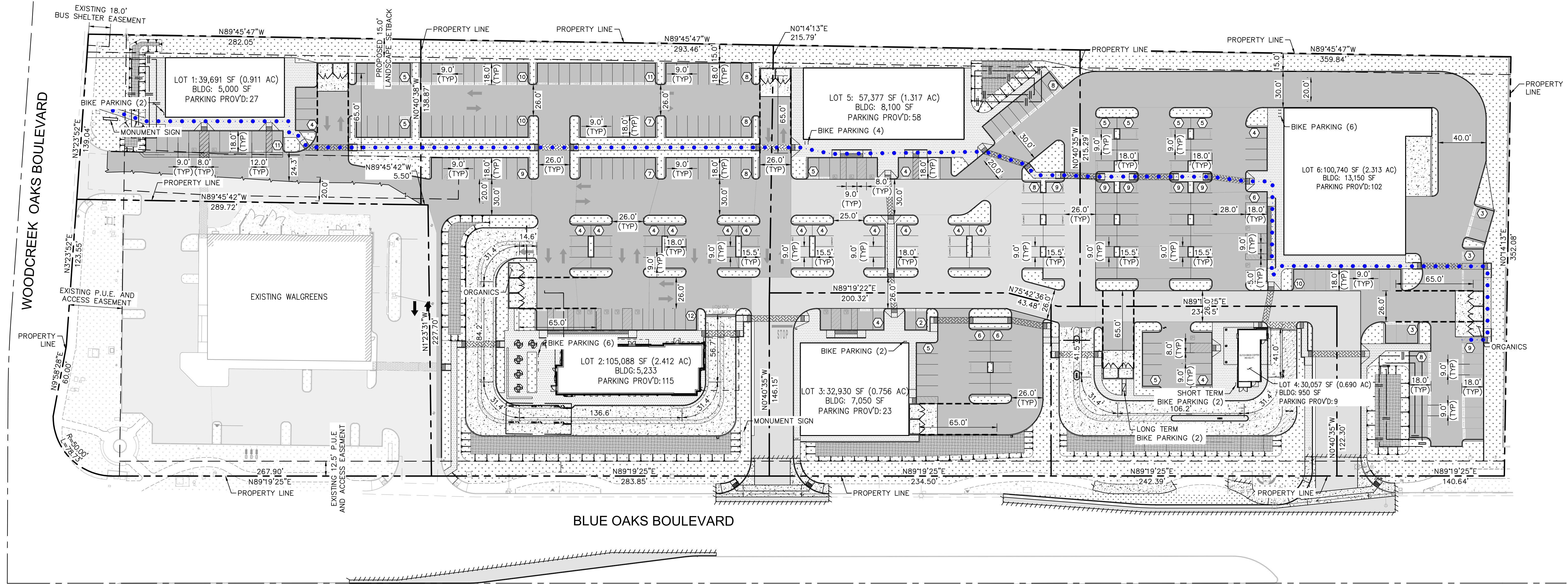


Colors:

	SV-1 EL DORADO STONE ORCHARD CYPRESS RIDGE
	P6 SHERWIN WILLIAMS SW7746 RUSHING RIVER
	P4 SHERWIN WILLIAMS SW6156 RAMIE
	P9 SHERWIN WILLIAMS SW6133 MUSLIN
	BLUE SW GP0642

SCALE: 3/8" = 1'-0"

K:\BAY_LDEVA\Chick-FT-A\097672126 - CFA #5032 - Blue Oaks & Woodcreek Oaks (Roseville)\CAD\Exhibits\2022-11-28 - Overall_Site_Plan_EX1.0_PRELIMINARY_OVERALL_SITE_PLAN.dwg - Overall_Site_Plan_EX1.0_PRELIMINARY_OVERALL_SITE_PLAN.dwg - This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

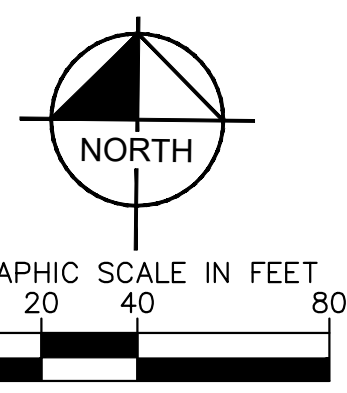
	PROPERTY LINE		PROPOSED ASPHALT CONCRETE		PROPOSED LANDSCAPE AREA
	APPROXIMATE CIVIL LIMIT OF WORK		PROPOSED CONCRETE SIDEWALK		PROPOSED BIORETENTION OR FLOW-THROUGH PLANTER
	EASEMENT OR SETBACK LINE		PROPOSED HEAVY DUTY CONCRETE		PROPOSED RIPRAP
	SETBACK LINE		STAMPED AND/OR COLORED CONCRETE ADA PATH OF TRAVEL		
	SAWCUT LINE				
	CENTERLINE				
	ACCESSIBLE ADA PATH OF TRAVEL (FOR REFERENCE ONLY, DO NOT PAINT)				
	TRASH ENCLOSURE APPROACH (FOR REFERENCE ONLY, DO NOT PAINT)				
	ROW PARKING COUNT				

ABBREVIATIONS

BLDG	- BUILDING	INV	- INVERT
C/L	- CENTERLINE	LP	- LOW POINT
CO	- CLEANOUT	MH	- MANHOLE
CONC.	- CONCRETE	N	- NORTH
DI	- DRAIN INLET	P/L	- PROPERTY LINE
E	- ELECTRIC OR EAST	R	- RIDGE OR RADIUS
ESMT	- EASEMENT	R/W	- RIGHT-OF-WAY
FF	- FINISHED FLOOR	S	- SOUTH
FG	- FINISHED GRADE	SD	- STORM DRAIN
FL	- FLOW LINE	SS	- SANITARY SEWER
FS	- FINISHED SURFACE	TC	- TOP OF CURB
FW	- FIRE WATER	V/F	- VERIFY IN FIELD
GB	- GRADE BREAK	W	- WATER OR WEST
HP	- HIGH POINT		

GENERAL NOTES

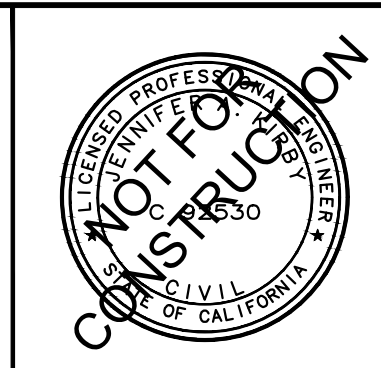
- RETAIL CENTER WILL PROVIDE RECIPROCAL EASEMENTS BETWEEN THE LOTS FOR ACCESS, DRAINAGE, AND UTILITIES.
- RETAIL CENTER WILL PROVIDE A SHARED PARKING AGREEMENT IN WHICH ONE TENANT CANNOT GET EXCLUSIVE PARKS ON ITS PARCEL.
- PAVING MATERIAL OF THE WALKWAYS THROUGHOUT THE CENTER WILL BE CONSISTENT WITH THE ARCHITECTURAL TYPE OF THE CENTER. CENTER WILL PROVIDE STAMPED AND/OR COLORED CONCRETE OR PAVERS AS A DECORATIVE ACCENT THROUGHOUT THE CENTER TO PROVIDE A PATH OF TRAVEL FOR PEDESTRIANS.



Kimley»Horn
 4637 CHABOT DRIVE, SUITE 350, PLEASANTON, CA 94588
 PHONE: 925-398-4840 FAX: 925-398-4849
 WWW.KIMLEY-HORN.COM

KHA PROJECT	097672126
DATE	02/17/2023
SCALE	AS SHOWN
DESIGNED BY	SAL
DRAWN BY	CKC
CHECKED BY	JAK

BLUE OAKS SHOPPING CENTER
 1480 BLUE OAKS BOULEVARD
 ROSEVILLE, CA 95747



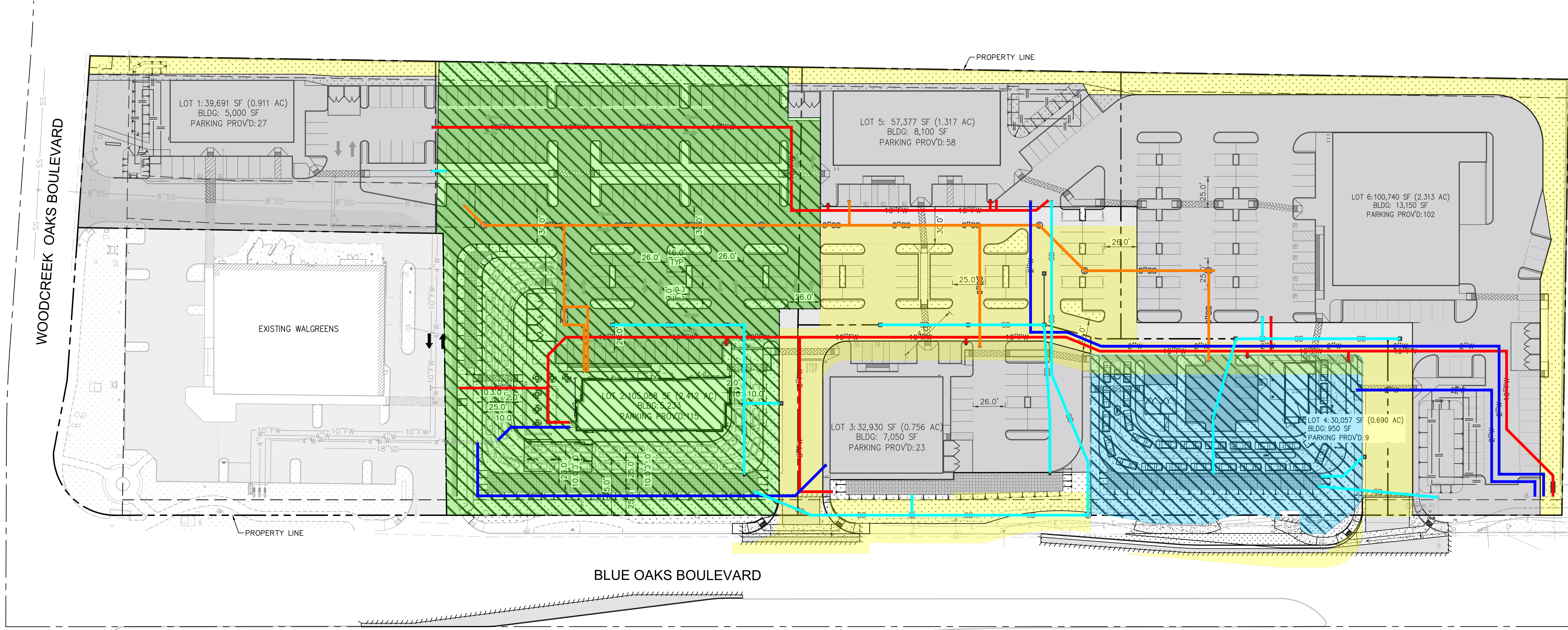
PRELIMINARY ONSITE & OFFSITE
 IMPROVEMENTS EXHIBIT

SHEET NUMBER

EX1.0

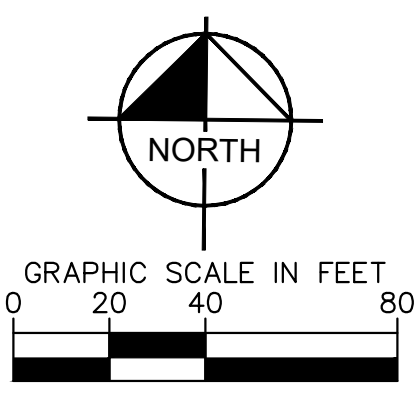
No.	REVISIONS	DATE	BY

K:\BAY_LDEV\Chick-Fil-A\097672126 - CFA_#5032 - Blue Oaks & Woodcreek Oaks (Roseville)\CAD\Exhibits\Entitlements\PHASING PLAN_EXHIBIT.dwg
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LEGEND

- PRELIMINARY PHASE 1A (DEVELOPER)
- PRELIMINARY PHASE 1B (DUTCH BROTHERS)
- PRELIMINARY PHASE 1C (CHICK-FIL-A)
- FUTURE PHASE 2
- PHASE 1 SEWER
- PHASE 1 FIRE
- PHASE 1 DOMESTIC WATER
- PHASE 1 STORM DRAIN

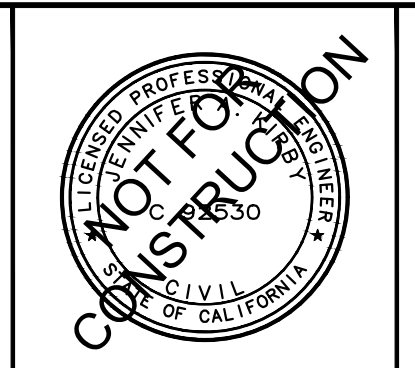


No.	REVISIONS	DATE	BY

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 1480 BLUE OAKS BOULEVARD
 ROSEVILLE, CA 95747



PRELIMINARY PHASING PLAN EXHIBIT

SHEET NUMBER

EX 2.0